September 15, 2015 City Commission Room, 700 N. Jefferson, Junction City KS 66441

Mayor Mick McCallister
Vice Mayor Jim Sands
Commissioner Phyllis Fitzgerald
Commissioner Pat Landes
Commissioner Michael Ryan
City Manager Allen Dinkel
City Attorney Catherine Logan
City Clerk Tyler Ficken

1. 7:00 P.M. - CALL TO ORDER

- a. Pledge of Allegiance
- **2. PUBLIC COMMENT:** The Commission requests that comments be limited to a maximum of five minutes for each person.
- 3. <u>CONSENT AGENDA:</u> All items listed are considered to be routine by the City Commission and will be enacted by one motion. There will be no separate discussion of these items unless a Commissioner so requests, in which event the item will be removed from consent status and considered in its normal sequence on the agenda.
 - Consideration of Appropriation Ordinance A-18 dated-Aug 26th 2015-Sept 8th 2015 in the amount of \$978,829.96. (p.3)
 - b. Consideration of City Commission Minutes for September 1, 2015. (p.29)
 - Consideration of August 2015 ambulance contractual obligation adjustments and bad debt adjustments. (p.33)

4. NEW BUSINESS:

- Consideration and Approval for Rimrock Lake Dam and Acceptance of a Remediation Design Alternative. (p.35)
- b. Consideration of 2015 Bulletproof Vest Partnership grant award. (p.89)
- Consideration of 2015 Edward Byrne Memorial Justice Assistance Grant Award.
 (p.91)
- d. Consideration of Case No. SUP-08-02-15, request of Dr. Theresa McCreath seeking a Special Use Permit to allow the establishment of a small animal veterinary clinic on property zoned "CN" Neighborhood Commercial, at the northwest corner of Spring Valley Road and Strauss Boulevard. (p.109)
- e. Consideration of Case No. SUP-08-01-15, the request of Martine Chery for a Special Use Permit to allow establishment of a food service/catering and carry-

- out business (restaurant) from her home at 1704 Lydia Lane, Junction City, Kansas. (p.135)
- f. Consideration of Case No. Z-08-01-15, the request of Mary Stockford to rezone the property at 410 North Franklin Street, Junction City, Kansas, from 'CSR" Commercial Service Restricted to "RM" Multiple Family Residential. (p.144)

5. EXECUTIVE SESSION:

- a. An executive session to discuss issues of attorney client privilege.
- 6. COMMISSIONER COMMENTS & COMMITTEE REPORTS:
- 7. STAFF COMMENTS:
- 8. ADJOURNMENT:

Backup material for agenda item:

a. Consideration of Appropriation Ordinance A-18 dated-Aug 26th 2015-Sept 8th 2015 in the amount of \$978,829.96

City of Junction City

City Commission

Agenda Memo

Sept 15th 2015

From: Cynthia Sinklier, Water Billing and Accounts Payable Manager

To: City Commissioners

Subject: Consideration of Appropriation Ordinance A-18 dated-Aug 26th 2015-Sept 8th 2015

in the amount of \$978,829.96

Background: Attached is a Listing and Checks of the Appropriations for Aug 26th –Sept 8th 2015

Appropriations: Aug 26th-Sept 8th 2015

ACH Payment

Veolia Water \$268,708.34

Security Bank \$3,150.00

Columbia Capital \$38,247.97

KS State Treasurer \$10,731.45

09-08-2015 04:17 PM APPROPRIATIONS- -AUG 26 2015-SEPT 8 2015-CS PAGE: DEPARTMENT FUND VENDOR NAME DATE DESCRIPTION AMOUNT 9/04/15 FEDERAL WITHHOLDING 30,183.64 NON-DEPARTMENTAL GENERAL FUND INTERNAL REVENUE SERVICE 9/04/15 SOCIAL SECURITY WITHHOLDIN 5,961.40 9/04/15 MEDICARE WITHHOLDING 4,113.90 JUNCTION CITY FIREFIGHTERS AID ASSOCIA 9/04/15 FIREFIGHTERS AID ASSOCIATI 130.00 JAN HAMILTON, CH.13 TRUSTEE-9/04/15 12-41834 9/04/15 GARNISHMENT 301.91 CARVER & BLANTON SHEA CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 ALLAN ULLMER REF OVERPMT 226.12 8/28/15 C BROWN REF OVER PAYMENT 75.50 8/28/15 N BROWN REF OVERPMT 153.48 8/28/15 K WILLIAMS REF OVERPMT 675.85 KANSAS PAYMENT CENTER 9/04/15 GARNISHMENT 9/04/15 KANSAS PAYMENT CENTER 303.29 9/04/15 JAY W VANDER VELDE 100.00 JAY W. VANDER VELDE GEARY COUNTY SHERIFF

JUNCTION CITY DID 12-22/55-13

729.23

9/04/15 GREAT WEST FINANCIAL

9/04/15 FIREMANS RELIEF

230.88

9/04/15 BOOKING TO THE DID 15-15

4,012.61

9/04/15 FIREMANS RELIEF

230.88 JUNCTION CITY FIRE FIGHTERS ASSOCIATIO 9/04/15 I.A.F.F. LOCAL 3309 1,584.00 JCPOA 9/04/15 JCPOA 780.00 KANSAS DEPT OF REVENUE 9/04/15 STATE WITHHOLDING 9.432.00 KANSAS PUBLIC EMPLOYEES 9/04/15 KPERS #1 2,641.90

TOTAL: 86,232.37 GENERAL FUND CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 K SHOOK REF KENNEL LICENSE 100.00 GENERAL FUND 57.00 8/28/15 SMART PROCURE REF RECORD R 8/28/15 BENEFITS DIRECT DEP 8/28/15 B HARTRUM REF OVERPMT 23.60-23.60

CDW GOVERNMENT INC

INFORMATION TECHNOLOGY GENERAL FUND

ADMINISTRATION

GENERAL FUND

157.00 TOTAL: 9/04/15 SOCIAL SECURITY WITHHOLDIN INTERNAL REVENUE SERVICE 46.63 9/04/15 MEDICARE WITHHOLDING 10.91 13.88 CENTURYLINK COMMUNICATION, INC. 9/02/15 INFORMATION SYSTEMS VERIZON WIRELESS 8/12/15 IT Director 61.74

9/04/15 KP&F

CITY OF JC FLEX SPENDING ACCT 1074334 9/04/15 FLEX SPENDING-1074334

FLEXIBLE SPENDING ACCOUNT #1074334 9/04/15 FLEX SPENDING-1074334

9/04/15 FLEX SPENDING-1074334

9/04/15 DEPENDENT CARE ACCT 10743

9/04/15 KPERS #2

9/04/15 KPERS #3

8/28/15 BENEFITS DIRECT REF OVRPMT 3.67-

8/28/15 J LYNCH REF OVERPMT

8/12/15 IT Technician

8/24/15 GESO - Monitors - Invest - 8/24/15 GESO - Video Card - Inv - 0/04/15 KNDRO #1 9/04/15 KPERS #1 9/04/15 KPERS INSURANCE KANSAS PUBLIC EMPLOYEES 73.94 7.80 9/04/15 KPERS INSURANCE TOTAL: 1,485.66

INTERNAL REVENUE SERVICE 9/04/15 SOCIAL SECURITY WITHHOLDIN 310.71 9/04/15 MEDICARE WITHHOLDING 72.67

CENTURYLINK COMMUNICATION, INC. 9/02/15 ADMINISTRATION 9/02/15 ADMINISTRATIVE SERVICES 13.88 9/02/15 EDC-ADMINISTRATION 27.77 13.88 9/02/15 ADMINISTRATION VERIZON WIRELESS 64.74

9/04/15 620-532-1756=FINANCE DIR 9/04/15 210-7021=CITY CLERK 51.74 9/04/15 210-5380-HR DIRECTOR 61.74

15,377.13

2,267.44

3,440.13

599.36

255.73

3.67

361.73

759.42

PAGE: 2

DEPARTMENT	FUND	VENDOR NAME	DATE	DESCRIPTION	AMOUNT_
		VENDOR NAME STAPLES ADVANTAGE CITY OF JUNCTION CITY PETTY CASH 10743	9/04/15 8/22/15 8/22/15	785-280-3591-CITY MANAGER ADMIN OFFICE SUPPLIES ADMIN OFFICE SUPPLIES	51.74 85.48 80.75
		CITY OF JUNCTION CITY PETTY CASH 10743	8/22/15 8/28/15	50 BOXES OF PAPER KERIT MILEAGE T FICKEN	1,699.50 141.45
			8/28/15 8/28/15 8/28/15	REG DEEDS FILE QUCK CLAIM REG DEEDS FILE DEED	28.00 28.00 28.00
			8/28/15 8/28/15 8/28/15	KERIT MILEAGE REMIBURSEMEN VANHORN KERIT MILEAGE KEMA J SANDS CONFERENCE	141.45- 141.45 75.00
		MIZE & HOUSER COMPANY CORYELL INSURORS, INC. KEY OFFICE EQUIPMENT KANSAS GAS SERVICE WESTAR ENERGY KANSAS PUBLIC EMPLOYEES NEX-TECH CHAMBER OF COMMERCE	8/30/15 9/01/15 9/28/15	FINAL AUDIT SERVICES THRU1 NOTARY S SETTLES W15023681 NOTARY D.VAN HORN#W1502368	1,000.00 75.00 75.00
		KEY OFFICE EQUIPMENT	8/26/15	SHAWNA & DAWN NOTARY STAMP	45.00
		KANSAS GAS SERVICE	9/08/15	700 N JEFFERSON-AUG 2015	49.85
		WESTAR ENERGY	9/08/15 9/08/15 9/08/15	700 N JEFFERSON MUNICIPAL BLDG-POLE LIGHT	2,658.16 29.93
			9/08/15 9/08/15 9/08/15	221 W 7TH-OLD COURT HOUSE 225 W 7TH-COURT-PARKING LG 2718 INDUSTRIAL-VENTRIA	24.15 12.63 6,248.11
		KANSAS PUBLIC EMPLOYEES	9/04/15	KPERS #1	358.29
			9/04/15	KPERS #2	56.46
			9/04/15	KPERS #3	80.41
		NEX-TECH	9/04/15	FDC	0.06
		NDV 1DOIL	9/03/15	NEX-GENERATION ROUND UP FE	0.28
		CHAMBER OF COMMERCE	8/31/15	DINKEL, RYAN, SANDS/MAC MEAL TOTAL:	36.00_ 13,683.09
BUILDING MAINTENANCE	GENERAL FUND	INTERNAL REVENUE SERVICE	9/04/15	SOCIAL SECURITY WITHHOLDIN MEDICARE WITHHOLDING	186.11 43.53
		VERIZON WIRELESS	9/04/15 9/04/15	6618 BM WILLIAMS 1761 BM WRIGHT	51.74 51.74
		INTERSTATE ELEVATOR INC.	9/01/15	SERVICE AGREE, M.B./OPERA	972.00
		HUGO'S INDUSTRIAL SUPPLY, INC.	9/03/15	CARPET CLEANER, M.B.	1,995.00
		KANSAS PUBLIC EMPLOYEES	9/04/15 9/04/15 9/04/15	KPERS #1 KPERS #2 KPERS INSURANCE	118.74 185.06 32.05
		INTERNAL REVENUE SERVICE VERIZON WIRELESS INTERSTATE ELEVATOR INC. HUGO'S INDUSTRIAL SUPPLY, INC. KANSAS PUBLIC EMPLOYEES ONE ACCORD	9/01/15	REMOVE/DISPOSE TWO TREES TOTAL:	600.00 <u></u> 4,235.97
	GENERAL FUND	INTERNAL REVENUE SERVICE	9/04/15	SOCIAL SECURITY WITHHOLDIN	653.82
		VERIZON WIRELESS	9/04/15	MEDICARE WITHHOLDING 7130 PW FLORES 7131 PR DIRECTOR LAZEAR	61.74
		C & M LAWN SERVICES	8/24/15	1324 PW AQUILAR CONTRACT MOWING, 8/16-8/22 CONTRACT MOWING 8/23-829	32.06 2,919.30 2,797.50
		BAMFORD FIRE SPRINKLER CO, INC		SPRINKLER INSPECTION, PARK	240.00
		GEARY COUNTY PUBLIC WORKS	9/04/15	TRANSFER STATION - AUG 201 TRANSFER STATION - AUG 201	10.00 10.00
		KANSAS GAS SERVICE		2307 N JACKSON 1017 1/2 W 5TH ST	43.62 30.87
		WESTAR ENERGY		2307 N JACKSON-POLE LIGHTS	342.59

PAGE: 3

DEPARTMENT	FUND	VENDOR NAME	DATE	DESCRIPTION	AMOUNT_
			9/08/15	1021 GRANT-FEMA LAND 100 GRANT-WASH-MONT PLAZA	245.55
				102 W ASH-BATHROOMS-CORONA	
				CORONADO PARK LIGHTS 104 ASH-TENNIS LIGHTS-CORO	
				RIMROCK PARK LIGHTS	112.97
				RIMROCK PARK & PAL	317.83
				NORTH PARK LIGHTS	29.02
				NORTH PARK LIGHTS	143.00
				SOUTH PARK LIGHTS	94.42
				SOUTH PARK LIGHTS	81.48
			9/08/15	1500 ST MARY RD-SOUTH PK B	25.27
			9/08/15	FILBY PARK LIGHTS	73.69
				1017 W 5TH-TENNIS	433.13
				511 N JEFFERSON-HERITAGE	52.59
				5TH ST PARK LIGHT POLES	207.01
				5TH ST PARK LIGHT POLES	
				420 GRANT-BRAMLAGE 920 E 5TH-SERTOMA PARK LIG	107.10 21.00
				CLEARY PARK LIGHTS	
			9/08/15	CLEARY PLAYGROUND LIGHTS	28.23
				1101 W 12-CLEARY PARK BATH	
				1020 W 11TH 1/2-CLEARY BLD	
			9/08/15	RATHERT FIELD LIGHTS	53.91
			9/08/15	900 W 13TH-RATHERT FIELD	1,045.65
				RATHERT FIELD LIGHTS	116.12
				1200 N FRANKLIN ST	62.65
				200 N EISENHOWER-SIGN	
			9/08/15	PAWNEE PARK LIGHT 1900 THOMPSON-CONCESION	28.23
			0/00/15	302 W 18TH-BUFFALO SOLDIER	303.14
			9/00/13	2301 SVR-PLANTERS	20.00
			9/08/15	930 E GUNNER-PATH LIGHT	36.17
				920 E GUNNER-PATH LIGHT	56.65
				145 E ASH-RIVER WALK	
				1821 CAROLINE AVE-BLUFFS	27.20
			9/08/15	900 W 12TH-PARK LIGHT	21.00
			9/08/15	5TH & EISENHOWER-SIGN	106.68
		KANSAS PUBLIC EMPLOYEES	9/04/15	KPERS #1	664.50
			9/04/15	KPERS #2	197.43
		M3 0000	9/04/15	KPERS #2 KPERS INSURANCE BULBS	90.92
		MASSCO TNC	0/27/15	BULBS CONCRETE COLD PATCH-7 BAGS	54.58 210.00
		CRAFCO, INC. CINTAS #451	0/2//13	INTEGORG - INCOON VENNY	14.37
		ROTHWELL LANDSCAPE INC	8/31/15	UNIFORMS-LANGDON, KENNY IRRIGATION REPAIR, CHESTNU	162.70
		NOTHWELL EMPOORED INC	0/01/10	TOTAL:	15,454.35
SWIMMING POOL	GENERAL FUND	D. GERBER COMMERCIAL POOL PRODUCTS & S	8/10/15	CHLORINE, POOL	944.00
		GEARY COUNTY PUBLIC WORKS		TRANSFER STATION - AUG 201	10.00
		KANSAS GAS SERVICE		1017 W 5TH	45.64
		WESTAR ENERGY	9/08/15	5TH ST POOL	1,693.64_
				TOTAL:	2,693.28
SPIN CITY	GENERAL FUND	INTERNAL REVENUE SERVICE		SOCIAL SECURITY WITHHOLDIN	254.43
		CAGII WA DIGEDIDIETNO		MEDICARE WITHHOLDING	59.50
		CASH-WA DISTRIBUTING	9/08/15	CLNR, PAPER TOWELS, FOOD, CON	311.64

09-08-2015 04:17 PM APPROPRIATIONS- -AUG 26 2015-SEPT 8 2015-CS PAGE: 4 DEPARTMENT FUND VENDOR NAME DATE DESCRIPTION AMOUNT 9/08/15 CLNR, PAPER TOWELS, FOOD, CON 9/08/15 CLNR, PAPER TOWELS, FOOD, CON 82.99 262.81 9/08/15 FUEL SURCHARGE 9/04/15 1084 SC MGR MARRS 9/04/15 1084 SC MGR MARRS 51.74 9/08/15 SEPT 2015-RENT BILLBOARD 300.00 43.62 VERIZON WIRELESS ROADSIDE VENTURES KANSAS GAS SERVICE 9/08/15 915 S WASHINGTON WESTAR ENERGY 9/08/15 915 S WASHINGTON-GOLF-SPIN 82.39 9/08/15 915 S WASHINGTON-GOLF-SPIN 82.39 9/08/15 915 S WASHINGTON-SPIN CITY 1,892.51 KANSAS PUBLIC EMPLOYEES 9/04/15 KPERS #1 9/04/15 KPERS INSURANCE 139.10 9/08/15 DRINKS, CANDY, SANDWICHES 262.00_ SNACK EXPRESS 3,764.40 TOTAL: AIRPORT GENERAL FUND CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 CARDINAL INS AIRPORT INSUR 186.76

8/28/15 KS ASSOC AIRPORT ANNUAL RE 100.00 F & R SERVICES 9/08/15 14TH ST-OPPOSITE RATHERT F 9/08/15 AIRPORT/JACKSON ST ROW-ALL 1,091.48 9/08/15 14TH ST TRAILER COURT AREA 82.69 82.69 9/08/15 AIRPORT MAINTENANCE BLDG 9/08/15 540 W 18TH-AIRPORT MAIN KANSAS GAS SERVICE 34.39 393.49 WESTAR ENERGY 47.90 48.02 9/08/15 2619 N JACKSON-AIRPORT LIG 9/08/15 520 AIRPORT RD 48.02_ TOTAL: 2,012.29 INTERNAL REVENUE SERVICE 502.81 9/04/15 SOCIAL SECURITY WITHHOLDIN GOLF COURSE GENERAL FUND 9/04/15 MEDICARE WITHHOLDING 117.58 US FOOD SERVICE 9/07/15 FOOD SUPPLY 9/07/15 GOLF COURSE SUPPLIES 239.54 JOHN DEERE LANDSCAPES/LESCO 9/07/15 GOLF COURSE SUPPLIES 239.54 9/07/15 IRRIGATION REPAIR PARTS 242.71 9/07/15 IRRIGATION REPAIR PARTS 8.42 8.42 9/07/15 IRRIGATION REPAIR PARTS 9/07/15 IRRIGATION REPAIR PARTS 9/07/15 IRRIGATION REPAIR PARTS 38.13 58.12 9/07/15 IRRIGATION REPAIR PARTS 9/07/15 IRRIGATION REPAIR PARTS 85.0 151.34 48.05 85.81 CENTURYLINK COMMUNICATION, INC. 9/02/15 GOLF COURSE REGELMAN LIQUOR STORE 9/07/15 BEER SUPPLY 9/01/15 RMGC FRONT END LOADER 5,950.00 CONCORDIA TRACTOR 9/07/15 GOLF LESSON JOHN BERNSTEIN 45.00 9/07/15 GOLF LESSON 45.00 9/07/15 GOLF LESSONS 9/07/15 GOLF LESSON 9/07/15 BEER SUPPLY 9/07/15 BEER SUPPLY 45.00 45.00 CROWN DISTRIBUTORS, INC. 48.06 9/07/15 BEER SUPPLY 168.21

YAMAHA MOTOR CORPORATION, U.S.A. 9/07/15 42 YDREM GOLF CARS 3,595.00

FLINT HILLS BEVERAGE LLC 9/07/15 BEER SUPPLY 112.49
9/07/15 BEER SUPPLY 2007/15 9/07/15 RESTOCKING FEE FOOTJOY/TITLEIST 5.00 9/07/15 GOLF BALLS FOR RESALE 9/07/15 RURAL WATER SUPPLY 9/04/15 KPERS #2 458.04 GEARY COUNTY RWD #4 64.79 458.48 KANSAS PUBLIC EMPLOYEES 9/04/15 KPERS #2 9/04/15 KPERS INSURANCE 9/07/15 VIRTUAL DOMAIN 9/03/15 GOLF COURSE 48.36 10.00 NCKCN.COM 9/07/15 FOOD/VENDING SUPPLY 198.00 9/07/15 FOOD/VENDING SUPPLY 127.50 9/07/15 RETURNED ITEMS-VENDING 28.00-9/07/15 VENDING/FOOD SUPPLY 241.00 NEX-TECH 3.43 SNACK EXPRESS 28.00-241.00

MONTGOMERY COMMUNICATIONS INC 9/08/15 A2369 VC-09012015 8/28/15 ZONING NAME PLATE THREE RIVERS ENGRAVING 15.65 498.32 TOTAL: 9/04/15 SOCIAL SECURITY WITHHOLDIN ENGINEERING GENERAL FUND INTERNAL REVENUE SERVICE 57.71 9/04/15 MEDICARE WITHHOLDING 13.50 51.74 9/04/15 ASST CITY ENGINEER 9/04/15 ENGINEER ASST VERIZON WIRELESS 32.06 CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 K FINGER HOTEL REIMBURSE 126.33

CENTURYLINK COMMUNICATION, INC. 9/02/15 ZONING/COUNTY INSPECTION

CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 REG DEEDS KRAMER SUBDIVISI

OMNT BILLING

VERIZON WIRELESS

KANSAS PUBLIC EMPLOYEES

INTERNAL REVENUE SERVICE

COUNTY/INS ZONING SVCS GENERAL FUND

CODES ENFORCEMENT GENERAL FUND

9/03/15 AMBULANCE BILLING

9/04/15 ZONING ADMINISTRATOR

9/04/15 KPERS #2 9/04/15 KPERS INSURANCE

9/04/15 SOCIAL SECURITY WITHHOLDIN

TOTAL:

8/28/15 REG DEED ROESER AG SPLIT 8/28/15 REG DEEDS CARLTON LILLY AG

TOTAL:

5,161.69_

13.88

235.69

46.00

57.00

71.10

10.35

389.77

440.69

22,060.31

DEPARTMENT FUND VENDOR NAME

G 26 2015-SEPT 8 2015-CS PAGE: 6

DATE DESCRIPTION

		_
	9/04/15 MEDICARE WITHHOLDING	103.06
CENTURYLINK COMMUNICATION, INC.	9/02/15 CODE ENFORCEMENT	34.71
VERIZON WIRELESS	9/02/15 CODE ENFORCEMENT 9/04/15 SENIOR INSPECTOR	32.06
	9/04/15 INSPECTOR INSPECTOR	32.00
	9/04/15 INSPECTORS IPAD2 9/04/15 SENIOR INSPECTOR IPAD2	30.01
	9/04/15 SENIOR INSPECTOR IPADZ 9/04/15 INSPECTOR1 INSPECTORS	30.01 78.05
	9/04/15 INSPECTOR1 INSPECTORS 9/04/15 INSPECTOR2 INSPECTORS	
	9/04/15 INSPECTOR1 IPAD4	40.01
	9/04/15 INSPECTOR2 IPAD4	40.01
CITY OF JUNCTION CITY PETTY CASH 10743	8/28/15 CO TREASURER REMOVE LIEN	10 00
	8/28/15 REG DEEDS LIEN RELEASE	200.00
F & R SERVICES	9/08/15 913 COUNTRYSIDE CT 9/08/15 1004 HIGHLAND DR	77.18
	9/08/15 1004 HIGHLAND DR	77.18
	9/08/15 1022 CEDAR ST 9/08/15 502 BECK DR 9/08/15 434 W ASH ST	38.59
	9/08/15 502 BECK DR	77.18
	9/08/15 434 W ASH ST	77.18
	9/08/15 1032 S WASHINGTON ST 9/08/15 1036 S WASHINGTON ST	77.18
	9/08/15 BLK1,LOT10 DEER CRK-SANDUS 9/08/15 BLK1,LOT12 DEER CRK-SANDUS	38.59 77.18
	9/08/15 BLK1, LOT12 DEER CRK-SANDUS 9/08/15 BLK3, LOT20 DEER CRK-SANDUS	77.18
	9/08/15 BLK3, LOT20 DEER CRK-SANDUSK	77.18 77.18
	9/08/15 BLK3,LOT8 DEER CRK-SILVER	
	9/08/15 BLK2,LOT5 DEER CRK - COYOT 9/08/15 BLK2,LOT5 DEER CRK-COYOTE	156.59
	9/08/15 BLK1,LOT15 DEER CRK-OAKVIE	38.59
	9/08/15 BLK1,LOT16 DEER CRK-OAKVIE	77.18
	9/08/15 BLK1,LOT18 DEER CRK-OAKVIE 9/08/15 BLK1,LOT24 DEER CRK-OAKVIE	77.18 38.59
	9/08/15 BLK1,LOT24 DEER CRK-OAKVIE	
	9/08/15 BLK1,LOT26 DEER CRK -OAKVI	77.18 77.18
	9/08/15 BLK4,LOT24DEER CRK-OAKVIEW	
	9/08/15 BLK4, LOT21DEER CRK-OAKVIEW	
	9/08/15 BLK4,LOT15DEERCRK-SANDUSKY 9/08/15 BLK4,LOT6DEER CRK-COYOTE C	77.18
	9/08/15 BLK4, LOT8DEER CRK-COYOTE CT	
	9/08/15 BLK4, LOT11DEERCRK-COTOTE CT	77.18 77.18 93.72
	9/08/15 BLK2,LOT22DEERCRK-SOUTHWIN	93.72
	9/08/15 BLK3,LOT11DEERCRK2-OAKVIEW	38.59
	9/08/15 BNLK3,LOT53DEERCRK2-ARROWH	
	9/08/15 411 N JEFFERSON ST 9/08/15 604 SKYLINE DR	38.59
	9/08/15 604 SKYLINE DR	77.18
	9/08/15 LOT 13 RIVENDELL	77.18
	9/08/15 LOT 12 RIVENDELL	38.59
	9/08/15 LOT 11 RIVENDELL 9/08/15 LOT 10 RIVENDELL	38.59
		38.59
	9/08/15 LOT 9 RIVENDELL 9/08/15 BLK1LOT1DEER CRK -SANDUSKY	38.59 173.05
	9/08/15 125 E ELM ST	77.18
	9/08/15 125 E ELM ST	77.18
	9/08/15 603 W SPRUCE ST	77.18
	9/08/15 611 W SPRUCE ST	77.18
	9/08/15 BLK2,LT6 LOVELACE - S WEBS	38.59
	9/08/15 1505 ROCKLEDGE DR	38.59
	9/08/15 1117 SKYLINE DR	77.18
	9/08/15 1173 ST MARYS RD	77.18

AMOUNT_

09-08-2015 04:17 PM APPROPRIATIONS- -AUG 26 2015-SEPT 8 2015-CS PAGE: DEPARTMENT FUND VENDOR NAME DATE DESCRIPTION AMOUNT 9/08/15 604 SKYLINE DR 38.59 9/04/15 KPERS #1 KANSAS PUBLIC EMPLOYEES 498.34 9/04/15 KPERS #2 123.77 121.34 9/04/15 KPERS #3 9/04/15 KPERS INSURANCE 78.43 TOTAL: 5,021.02 GENERAL FUND INTERNAL REVENUE SERVICE 9/04/15 SOCIAL SECURITY WITHHOLDIN 820.71 POLICE 9/04/15 SOCIAL SECURITY WITHHOLDIN 944.03 9/04/15 MEDICARE WITHHOLDING 1,264.41 9/04/15 MEDICARE WITHHOLDING 318.20 9/04/15 MEDICARE WITHHOLDING CENTURYLINK COMMUNICATION, INC. 213.85 9/02/15 POLICE 9/02/15 DISPATCH 9/08/15 PD-AUG 2015 (PHONE BILL) 1,007.52 2/01/15 PD CELL AUGUST 2015 1,021.93 VERIZON WIRELESS 157.50 CENTURY BUSINESS TECHNOLOGIES 9/02/15 Records Copier 157.50 8/25/15 3274859589 PAPER TOWELS 9/02/15 Investigations Copier STAPLES ADVANTAGE 53.38 8/25/15 3274859595 PAPER TOWELS/SA 83.37 1,670.58 9/08/15 146694A AS400 TRM 20.00 CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 KDHE UNDERGROUND TANK PD 8/25/15 122105 UNIFORM CLEANING 8/25/15 122106 UNIFORM CLEANING CONTINENTAL PROFESSIONAL LANDRY 18.50 3.70 29.60 8/26/15 122114 UNIFORM CLEANING 18.50 9/04/15 122120 UNIFORM CLEANING 9/04/15 122122 UNIFORM CLEANING 14.80 9/04/15 122187 UNIFORM CLEANING 3.70 9/04/15 122188 UNIFORM CLEANING 49.95 9/04/15 122192 UNIFORM CLEANING 42.55 9/04/15 122233 UNIFORM CLEANING 9/04/15 122239 UNIFORM CLEANING 14.80 46.25 9/04/15 133107 SHELF 9/04/15 133157 PUSHBAR #218 1,184.50 KA-COMM 118.75 9/04/15 133264 SIREN/LIGHTS UNIT 2 62.00 FORENSIC TRUTH ANALYSIS, LLC 9/08/15 POLYGRAPH 9/04/15 77949 PD CAMERA REPAIR 300.00 SECURITY SOLUTIONS INC 220.00 9/08/15 312 E 9TH KANSAS GAS SERVICE 56.14 9/08/15 210 E 9TH 214.25 9/08/15 210 E 9TH 9/08/15 210 E 9TH-JCPD 9/08/15 312 E 9TH-JCPD STORAGE WESTAR ENERGY 3,684.38 320.79 9/04/15 KPERS #1 9/04/15 KPERS #1 KANSAS PUBLIC EMPLOYEES 662.36 536.24 9/04/15 KP&F 17,712.07 9/04/15 KP&F 1,837.11 9/04/15 KP&F 365.99 9/04/15 KPERS #2 310.87 9/04/15 KPERS #2 565.42 407.39 9/04/15 KPERS #3 9/04/15 KPERS INSURANCE 120.34 9/04/15 KPERS INSURANCE 159.19

MIKE'S FIRE EXT. SALES

NAPA AUTO PARTS OF J.C.

29.71 176.67

67.75

60.09

9/04/15 89250 FIRE EXTINGUISHER #2 9/08/15 311524 THERMOSTAT #223B

9/08/15 311561 RADIATOR #223B 9/08/15 311979 BRAKE PADS #206B

9/08/15 312206 BRAKE PADS #210

09-08-2015 04:17 PM APPROPRIATIONS- -AUG 26 2015-SEPT 8 2015-CS PAGE: 8 DEPARTMENT FUND VENDOR NAME DATE DESCRIPTION AMOUNT 9/08/15 314233 U JOINT #206 13.49 9/03/15 POLICE NEX-TECH 8.33 9/03/15 DISPATCH 11.20 948.00 48.50_ 9/04/15 BD-5252 HEADSET ADAPTER 9/04/15 4839 FLOOR REFINISHING 9/04/15 2015-2620 REMOVE SHRUBS SERVICEMASTER ROTHWELL LANDSCAPE INC 38,476.14 TOTAL: 9/04/15 SOCIAL SECURITY WITHHOLDIN GENERAL FUND INTERNAL REVENUE SERVICE FTRE 28.90 872.42 9/04/15 MEDICARE WITHHOLDING CENTURYLINK COMMUNICATION, INC. 9/02/15 FIRE 45.12 9/01/15 209-0124 (STN 2 CAPT) VERIZON WIRELESS 9/01/15 209-0255 (BC) 9/01/15 209-0668 (STN 1 CAPT) 51.74 5.14 25.50 145.00 650.00 CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 CO TREASURER TAGS FOR VEHI 8/20/15 REPAIR GARAGE DOOR (STN 1) IRISH CREEK LODGE 8/27/15 LODGING/BERGMAN FIRE SHCOO 8/21/15 TOW 522 FROM ELLSWORTH TO 9/08/15 700 N JEFFERSON-AUG 2015 9/08/15 2245 LACY DR-FIRE 9/08/15 700 N JEFFERSON 476.00 GROSS WRECKER SERVICE KANSAS GAS SERVICE 24.92 84.53 9/08/15 /UU N JEFFERSON 1,329.07 9/08/15 MUNICIPAL BLDG-POLE LIGHT 14.96 9/08/15 2245 LACY-FIRESTATION#2 1,072.88 9/04/15 KPERS #1 WESTAR ENERGY 9/04/15 KPERS #1 KANSAS PUBLIC EMPLOYEES 9/04/15 KP&F 9/04/15 KPERS INSURANCE 13,269.91 6.09 8/28/15 FRONT BRAKE PADS & ROTORS/ NAPA AUTO PARTS OF J.C. 137.08 8/28/15 HEATER HOSE/522 8/28/15 ANTIFREEZE/522 0.84 47.94 8/28/15 DIESEL EXHAUST FLUID 12.84 29.28_ 8/21/15 FUEL FILTER/522 TOTAL: 18,393.52 710.07 GENERAL FUND INTERNAL REVENUE SERVICE 9/04/15 SOCIAL SECURITY WITHHOLDIN STREET 9/04/15 MEDICARE WITHHOLDING 166.05 8/24/15 14 TONS OF ASPHALT 8/27/15 7 TONS OF ASPHALT 846.06 BAYER CONSTRUCTION CO. 418.90 1,148.14 1,083.83 8/28/15 20 TONS OF ASPHALT 8/28/15 20 TONS OF ASPHALT 9/03/15 18 TONS OF ASPHALT 9/04/15 14 TONS OF ASPHALT 9/04/15 MUNICIPAL SER. DIR. 25% 830.13 VERIZON WIRELESS 51.74 9/04/15 MUNICIFAL CLIN. 2----9/04/15 IBARRA-223-1232 9/04/15 223-1241--UTILITY 1 9/04/15 ON CALL-223-1508 25.81 25.81 9/04/15 ROETHER-375-8899 61.73 9/04/15 BERGMAN-761-5218 9/04/15 HORN-761-5254 25.81 25.81 9/04/15 HALL-761-5396 25.81 9/04/15 LEWIS-761-5415 51.74 25.81 9/04/15 TENORIO-761-5450 9/01/15 ROLLER RENTAL 9/01/15 INSURANCE 25.c. 2,325.00 325.50 FOLEY EQUIPMENT 9/01/15 ENVIRONMENT RECOVERY CHRG
CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 R IBARRA REF LAUNDRY EXP
VANDERBILTS 8/24/15 GEOFF LEWIS BOOTS - 2015 3.99

VANDERBILTS

MIDWEST CONCRETE MATERIALS

129.99

85.50

8/24/15 1 CY CONCRETE - 5TH/WEBSTE

DEPARTMENT FUND

VENDOR NAME

APPROPRIATIONS- -AUG 26 2015-SEPT 8 2015-CS PAGE: 9

VENDOR NAME	DATE	DESCRIPTION	AMOUNT_
CENTRAL POWER SYSTEMS & SERVICES APAC KANSAS, INC. MOTION INDUSTRIES INC KANSAS ASSOCIATION OF CITY/COUNTY MANA CLASS C SOLUTIONS GROUP F & R SERVICES	8/27/15 8/27/15	LUBE SPIN, FLTRS, PANELS, U JOINT FOR #621	196.03 100.40
APAC KANSAS, INC.	8/27/15	UPM 2015	3,358.84
MOTION INDUSTRIES INC	8/24/15	TECH SCREW KITS	141.50
KANSAS ASSOCIATION OF CITY/COUNTY MANA	8/17/15	JEFF ROETHER-LEGAL MANAGEM	140.00
CLASS C SOLUTIONS GROUP	8/25/15	FLEET SHOP PIECES	248.83
	8/26/15	FLEET SHOP PIECES	49.99
F & R SERVICES	9/08/15	1701 N ADAMS- DRAIN	27.56
	9/08/15	BEL AIR & FOGARTY (DEAD EN	0.00
	9/08/15	8TH ST AT GARFIELD DITCH	11.03
	9/08/15	ANNEX PARKING LOT BEHIND D	16.54
	9/08/15	COMMONWEALTH DRIVE ROW	27.56
	9/08/15	GRANT AVE ISLAND	165.38
	9/08/15	GRANT AVE FRONTAGE RDS	44.10
	9/08/15	MONROE ST DRAINS	16.54
	9/08/15	WESTWOOD BLVD-ISLANDS	165.38
	9/08/15	BRIDGE GUARDRAIL-EISEN & 1	11.03
	9/08/15	E 11TH/210 E 11TH	33.08
	9/08/15	436 W 11TH ST	33.08
	9/08/15	EAST 10TH ST PROPERTY	110.25
	9/08/15	ELM DALE ROAD ROW	82.69
	9/08/15	CHESTNUT&I-70 RAMPS	694.58
	9/08/15	HWY 57 R/W & ISLANDS	1,102.50
GADES SALES CO. GEARY COUNTY PUBLIC WORKS KEY OFFICE EQUIPMENT KANSAS GAS SERVICE WESTAR ENERGY	9/08/15	AREA IN FRONT OF CRACKER B	77.18
	9/08/15	RUCKER ROAD	551.25
	9/08/15	K-18 -RR TO STONE RIDGE	105.00
	9/08/15	LAWNDALE WATER AREA	0.00
	9/08/15	MOSS CIRCLE ISLAND	11.03
	9/08/15	GRANT AVE RIVER PARK AREA	165.38
	9/08/15	514 W 14TH ST	33.08
	9/08/15	516 W 14TH ST	33.08
01770 01770 00	9/08/15	1008 W 14TH ST	33.08
GADES SALES CO.	8/28/15	TRAFFIC SIGNAL CONTROLLER	2,568.99
GEARI COUNTI PUBLIC WORKS	9/04/15	TRANSFER STATION - AUG 201	129.12
KEI OFFICE EQUIFMENT	0/20/13	THE EOD DETAMEDS	03.10
VANCAC CAC CEDUTCE	0/00/15	1NA FOR PRINIERS	241.43
MESTAR ENERGY	9/08/15	2324 I/Z N OACKSON 2324 N JACKSON-PIBLIC WORK	114 93
MBOTHK BNBKGT	9/08/15	2324 N JACKSON-BUILDING	973 60
	9/08/15	825 CRESTVIEW-ST LIGHTS	21.00
	9/08/15	101 E 6TH STREET-SIGNAL	100.23
	9/08/15	JUNCTION CITY	254.16
	9/08/15	107 S WASHINGTON-ST LIGHTS	21.21
	9/08/15	915 W 4TH-ST LIGHTS	16.31
	9/08/15	9TH&100 BLK W 9TH-ST LIGHT	29.02
	9/08/15	9TH & FILLEY-ST LIGHTS	56.48
	9/08/15	920 SPRUCE ST-ST LIGHTS	21.00
	9/08/15	SPRUCE & BUNKERHILL-ST LIG	24.56
	9/08/15	UTILITY PARKING LOT-ST LIG	65.40
		UTILITY PARKING LOT-ST LIG	65.40
		JEFFERSON-BETWEEN 6TH-ST L	119.08
	- , , -	MINNICK PARKING LOT-ST LIG	126.39
	. , , .	PARKING LOT-	100.24
		102 GRANT AVE	67.97
		1500 ST MARYS-ST LIGHTS	21.00
	9/08/15	1632 N WASHINGTON-ST LIGHT	21.32

FUND

DEPARTMENT

PAGE: 10

VENDOR NAME DATE DESCRIPTION AMOUNT 9/08/15 1935 NORTHWIND-ST LIGHTS 9/08/15 1935 NORTHWIND-ST LIGHTS 23.78 9/08/15 825 N JACKSON ST-ST LIGHTS 10.50 9/08/15 11TH ST & JACKSON SCHOOL X 9/08/15 807 N WASHINGTON-ST LIGHT 191.88 9/08/15 615 N WASHINGTON-ST LIGHTS 132.58 9/08/15 716 N WASHINGTON-ST LIGHTS 293.12 21.09 9/08/15 132 N EISENHOWER-ST LIGHT 9/08/15 1419 N JEFFERSON-ST LIGHTS 9/08/15 1618 N JEFFERSON-ST LIGHTS 21.00 21.09 9/08/15 2800 GATEWAY-ST LIGHT 26.23 9/08/15 1200 S WASHINGTON-ST LIGHT 9/08/15 316 N US HWY 77-FLASHER 21.64 9/08/15 600 W 6TH-ST LIGHT 52.16 21.96 9/08/15 1121 S US HWY 77-FLASHER 9/08/15 401 CAROLINE CT-ST LIGHT 9/08/15 351 E CHESTNUT-ST LIGHT 190.14 32.30 84.71 9/08/15 ST MARYS CEMETARY-SIREN 9/08/15 INDUSTRIAL PARK-ST LIGHT 21.00 9/08/15 601 W CHESTNUT-FLAG 9/08/15 902 E CHESTNUT-ST LIGHTS 311.33 9/08/15 1222 W 8TH-SIREN 21.85 9/08/15 CIVIL DEFENSE-SIREN 35.08 9/08/15 CIVIL DEFENSE-SIREN 35.08 9/08/15 630 1/2 E TORNADO SIREN 32.30 9/08/15 1804 N JACKSON SIREN 35.41 9/08/15 403 GRANT AVE-SIREN 23.78 9/08/15 703 W ASH-SIREN 21.43 9/08/15 1102 ST MARYS RD-SIREN 9/08/15 2022 LACY DRIVE-SIREN 22.93 21.00 9/08/15 2022 LACT ELL... 9/08/15 701 SOUTHWIND-SIREN 23.67 35.08 9/08/15 CIVIL DEFENSE SIREN 9/08/15 117 S WASHINGTON-SIGNAL 96.90 9/08/15 316 N US-HWY 77 & MCFARLAN 56.65 9/08/15 604 S ADAMS-ST LIGHTS 95.03 92.25 9/08/15 641 GARFIELD 9/08/15 599 EISENHOWER 26.86 9/08/15 6TH & WEBSTER 146.64 22.53 9/08/15 6TH & JACKSON 9/08/15 6TH & MADISON 87.61 9/08/15 127 E 6TH 100.86 9/08/15 8TH & JEFFERSON 9/08/15 8TH & JEFFERSON 94.55 316.02 123.34 9/08/15 439 W 8TH 9/08/15 8TH & WASHINGTON 9/08/15 124 E 9TH 9/08/15 1501 N JACKSON 35.10 109.58 81.60 9/08/15 1760 W ASH 41.72 9/08/15 312 N WASHINGTON-BLINKER 9/08/15 601 E CHESTNUT-ST LIGHT 21.09 355.57 9/08/15 1423 N WASHINGTON-ST LIGHT 21.00 21.32 25,936.27 KANSAS PUBLIC EMPLOYEES 9/04/15 KPERS #1 74.88

9/04/15 KPERS #2

9/04/15 KPERS #3

770.53

244.25

09-08-2015 04:17	PM	APPROPRIATIONSAUG 26 2015-SEPT 8 201	I5-CS	PAGE:	11
DEPARTMENT	FUND	VENDOR NAME	DATE	DESCRIPTION	AMOUNT_
			9/04/15	KPERS INSURANCE	114.94
		NAPA AUTO PARTS OF J.C.	8/28/15	RATCHET TIE DOWN	46.58
			8/28/15	GAS CAP FOR F350	11.38
		NAPA AUTO PARTS OF J.C.	8/28/15	WIPER BLADE	25.48
			8/28/15	TOGGLE 50A CHROME	4.20
			8/28/15	ATR FILTER	22.38
			8/28/15	BRAKE PADS AND ROTOR	223.75
			8/28/15	BRAKE PADS AND ROTOR ADAPTERS	15.00
			8/28/15	WIPER BLADE	18 06
			8/28/15	TRAILER CONNECTOR	31.49
			8/28/15	REMAN GRIPPER KIT, CORE DE	205.16
			8/28/15	HEX NUT	75 72
			8/28/15	BATTERY FOR F250 AND CORE	123 41
			8/28/15	BRAKE PADS. ROTOR. WHEEL S	873.12
			8/28/15	TOGGLE 50 A CHROME	4 20
			8/28/15	TOGGLE 50 I CHROME	8 40
			8/28/15	FIIGE HOLDED	6.12
			8/28/15	LOM SUCKEL	25 98
			8/26/15	ATR FTI.TER	2 86
			0/20/15	TIT TITLE	3.60
		CDAFCO INC	9/20/15	CONCELLE COLD DYLCH	186 78
		CTNTAS #451	9/25/15	WKIV MATS AND TOWERS	21 3/
		CINIAS #451	0/23/13	MICH MAIS AND IONEES	21 24
		VICTOR I DUTITIES CO	9/01/15	COUNTED DADES FOD 608 AND	66 48
		VICTOR L FRIEDLIFS CO	0/12/15	DACKIOE DADO	500.40 F20.0F
			0/20/13	#621 DACKHOE DADEC	1 7/7 20
			0/2//13	#621 BACKHOE DADTS	1,747.39 9 13
			0/2//15	#021 DACKNOE FAKIS	100.15
		MILLER CENT	0/20/15	CONCRETE CAM	190.13
		CRAFCO, INC. CINTAS #451 VICTOR L PHILLIPS CO WHITE STAR	0/20/13	TOTAL:	57,786.37
COURT		INTERNAL REVENUE SERVICE			
			9/04/15	SOCIAL SECURITY WITHHOLDIN	236.75
			9/04/15	MEDICARE WITHHOLDING	84.63
			9/04/15	MEDICARE WITHHOLDING	55.37
		CENTURYLINK COMMUNICATION, INC. VERIZON WIRELESS CITY OF JUNCTION CITY PETTY CASH 10743	9/02/15	MUNICIPAL COURT	40.77
		VERIZON WIRELESS	9/04/15	323-7174-CITY ATTORNEY	51.74
		CITY OF JUNCTION CITY PETTY CASH 10743	8/28/15	SOS NOTARY GERVAIS	25.00
			8/28/15	KACM COURT REGISTRATION	195.00
			8/28/15	KACM COURT REGISTRATION FL DIV VEH LICENSE CHECK	10.00
		CLARK & PLATT, CHTD.	7/30/15	SERVICE JOSHUA GRILLIOT	250.00
		·	7/30/15	SERVICE FREDERICK GREEN	250.00
			7/30/15	SERVICE MICHAEL HALL JR	250.00
		PURVIS LAW OFFICE LLC	7/28/15	SERVICES THROUGH 07/28/201	250.00
				SERVICES THROUGH 08/24/201	
		JOSHUA DOUGLASS		PAYMENT EVERY TWO WEEKS	2,500.00
			9/08/15	PAYMENT EVERY TWO WEEKS	2,500.00
		KEY OFFICE EQUIPMENT	8/25/15	MUNICIPAL COURT OFFICE SUP	214.29
		KANSAS GAS SERVICE	9/08/15	701 N JEFFERSON-MUNICPAL C	0.00
		WESTAR ENERGY		701 N JEFFERSON-MUNICIPAL	97.76
		KANSAS PUBLIC EMPLOYEES		KPERS #1	593.76
				KPERS #1	111.78
			-, -, -	KPERS #2	211.46
				KPERS INSURANCE	62.63
				KPERS INSURANCE	34.09
		CINTAS #451	-, -, -	MUNICIPAL COURT MATS	27.36
		"	-, -0, 10		200

DEPARTMENT	FUND	VENDOR NAME	DATE	DESCRIPTION	AMOUNT_
			8/27/15	MUNICIPAL COURT MATS TOTAL:	27.36_ 8,691.63
JC OPERA HOUSE	GENERAL FUND	INTERNAL REVENUE SERVICE CENTURYLINK COMMUNICATION, INC. CITY OF JUNCTION CITY PETTY CASH 10743	9/04/15 9/04/15	SOCIAL SECURITY WITHHOLDIN MEDICARE WITHHOLDING	110.84 25.92
		CENTURYLINK COMMUNICATION, INC.	9/02/15	OPERA HOUSE	34.70
		CITY OF JUNCTION CITY PETTY CASH 10743	8/28/15	NGM INS PUT CALL FOR OPERA	100.00
			8/28/15	US POSTAL MAIL PUT CALL	6.70
		MECHAD ENEDCY	8/28/15	US POSTAL OPERA HOUSE PUT	8.24
		WESTAR ENERGY	9/08/15	NGM INS PUT CALL FOR OPERA US POSTAL MAIL PUT CALL US POSTAL OPERA HOUSE PUT 135 W 7TH ST-OPERA HOUSE TOTAL:	4,149.37_ 4,435.77
RECREATION	GENERAL FUND	INTERNAL REVENUE SERVICE	9/04/15	SOCIAL SECURITY WITHHOLDIN	236.65
		CENTURYLINK COMMUNICATION, INC.	9/02/15	RECREATION	78.00
		VERIZON WIRELESS	9/04/15	3067 REC MGR SWIHART	51.74
		CITY OF JUNCTION CITY PETTY CASH 10743	8/28/15	AMY JONES NORWEK 12TH STRE	96.96
		MONITOUR CIDDENS	9/08/15	DEP REFUND-KITCHEN-8/21/20 RENTAL REND-MILTIT ROOM-8/3	25.00 25.00
		KANSAS GAS SERVICE	9/08/15	1002 W 12TH	46.95
		WESTAR ENERGY	9/08/15	1002 W 12TH-COMMUNITY/P LI	3,604.74
		KANSAS PUBLIC EMPLOYEES	9/04/15	KPERS #2	131.51
			9/04/15	KPERS INSURANCE	13.87
		MASSCO	9/08/15	REFINISHING GYM FLOOR	4,894.76
		CENTURYLINK COMMUNICATION, INC. VERIZON WIRELESS CITY OF JUNCTION CITY PETTY CASH 10743 SHONTRELL NELSON MONIQUE GIDDENS KANSAS GAS SERVICE WESTAR ENERGY KANSAS PUBLIC EMPLOYEES MASSCO CINTAS #451	9/02/13	4x6 GRAT MATS TOTAL:	9,308.29
EMERGENCY SHELTER	GRANTS	OPEN DOOR COMM. HOUSE	9/08/15	ESG AUG 2015	7,911.65
			9/08/15	ESG JULY 2015	633.88_
BOND & INTEREST	BOND & INTEREST	INTRUST BANK, N.A. OFFICE OF THE ATTORNEY GENERAL	9/08/15	PRINCIPAL-SPIN CITY	46,245.33
			9/08/15	INTEREST-SPIN CITY	4,435.95
		OFFICE OF THE ATTORNEY GENERAL	9/08/15	TAXABLE GEN OBL.REFUND DAT	135.00
		MIDWEST SINGLE SOURCE INC	0/23/13	TOTAL:	51,086.28
NON-DEPARTMENTAL	WATER & SEWER FUND	INTERNAL REVENUE SERVICE	9/04/15	FEDERAL WITHHOLDING	2,636.37
			9/04/15	SOCIAL SECURITY WITHHOLDIN	1,988.93
		VANCAC DAVMENT CENTED	9/04/15	MEDICARE WITHHOLDING	465.18
		GREAT WEST FINANCIAL	9/04/15	GREAT WEST FINANCIAL	416.04
		KANSAS DEPT OF REVENUE	9/04/15	STATE WITHHOLDING	938.59
		KANSAS PUBLIC EMPLOYEES	9/04/15	KPERS #1	657.68
		KANSAS PAYMENT CENTER GREAT WEST FINANCIAL KANSAS DEPT OF REVENUE KANSAS PUBLIC EMPLOYEES	9/04/15	KPERS #2	883.01
		CITY OF JC FLEX SPENDING ACCT 1074334	9/04/15	KPERS #3	280.70 374.39
		FLEXIBLE SPENDING ACCOUNT #1074334		DEPENDENT CARE ACCT 10743	54.17
			.,.,	TOTAL:	8,815.06
WATER DISTRIBUTION	WATER & SEWER FUND	INTERNAL REVENUE SERVICE		SOCIAL SECURITY WITHHOLDIN	495.04
		DAVED CONCEDIORION CO		MEDICARE WITHHOLDING	115.76
		BAYER CONSTRUCTION CO. VERIZON WIRELESS		30 TONS OF ROCK MUNICIPAL SER. DIR 25%	318.10 8.92
		VELTEGI. HINDEDOO		ROGERS-761-5094	25.81
				761-5237-DEPT	25.81

09-08-2015 04:17 PM APPROPRIATIONS- -AUG 26 2015-SEPT 8 2015-CS PAGE: 13 DEPARTMENT FUND VENDOR NAME DATE DESCRIPTION AMOUNT 9/04/15 761-5283--STREET 5 9/04/15 HAYHURST-761-5293 26.12 CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 D WILLIAMS CDL REIMBURSE 13.33 MIDWEST CONCRETE MATERIALS 8/18/15 16 TNS SAND FOR FD HYDRANT 72.07 30.80 299.00 85 8/21/15 SAND FOR FD HYDRANT 8/21/15 2CY CONCRETE-1010 W 8TH 8/19/15 SAND FOR FD HYDRANT 8/24/15 1 CY CONCRETE - 5TH/WEBSTE 226.45 8/26/15 5 TONS OF GRAVEL - ASH STR 8/27/15 S CALHOUN - 6 TONS OF SAND 26.97 8/31/15 AUGUST 2015 LOCATES 8/27/15 LUBE SPIN, FLTRS, PANELS, KANSAS ONE-CALL SYSTEMS, INC. 136.50 CENTRAL POWER SYSTEMS & SERVICES 140.01 8/24/15 TECH SCREW KITS KEY EOUIPMENT 8/21/15 HANDLE MOTION INDUSTRIES INC 141.50 9/04/15 HOSE FOR VEHICLES 8/25/15 FLEET SHOP PIECES 8/26/15 FLEET SHOP PIECES 8/26/15 FLEET SHOP PIECES 416.29 207.35 CLASS C SOLUTIONS GROUP 8/26/15 FILES AND SHREDDERS KEY OFFICE EQUIPMENT 39.50 9/04/15 INK FOR PRINTERS 172.48 KANSAS PUBLIC EMPLOYEES 9/04/15 KPERS #1 75.05 9/04/15 KPERS #2 361.81 9/04/15 KPERS #3 106.13 9/04/15 KPERS INSURANCE 68.82 9/04/15 KPERS INSURANCE 8/28/15 LUBGRD KOOLER KLEEN 7.99 1.43 NAPA AUTO PARTS OF J.C. 8/26/15 AIR FILTER 8/26/15 FILTERS 3.59 8/26/15 GAS CAP 10.58 8/25/15 WKLY MATS AND TOWELS CINTAS #451 26.12 9/01/15 WKLY SHOP TWLS & OFF MATS 8/12/15 COUNTER PARTS FOR 698 AND 26.12 66.48 VICTOR L PHILLIPS CO 266.03 8/26/15 BACKHOE PADS 8/28/15 TOOTH, BUCK, KEY, BUCKET 98.08 313.75_ 8/28/15 CONCRETE SAW WHITE STAR TOTAL: 4,558.89 WATER PLANT WATER & SEWER FUND F & R SERVICES 761.25 9/08/15 WATER PLANT & FIELDS 9/08/15 PUMP STATIONS @ ADAMS ST 82.69 8/24/15 WATER UTILITY 87,916.67 8/24/15 WTR MONTHLY R & M FEE 18,500.00_ VEOLIA WATER NORTH AMERICA TOTAL: 107,260.61 WATER ADMINISTRATION WATER & SEWER FUND INTERNAL REVENUE SERVICE 9/04/15 SOCIAL SECURITY WITHHOLDIN 590.85 9/04/15 MEDICARE WITHHOLDING 138.19 CENTURYLINK COMMUNICATION, INC. 9/02/15 WATER ADMINISTRATION 103.31 9/04/15 209-1393=METER READER 32.06 VERIZON WIRELESS 9/04/15 223-1358=CITY TREASURER 9/04/15 307-8209=TPAD ... 42.06 51.74 30.01 9/04/15 307-8254=IPAD, Meter Reade 30.01 114.62 9/08/15 CUSTOMER SERVICE-AUDIO ISS REDI SYSTEMS INC. 31.57 30.87 KANSAS GAS SERVICE 9/08/15 2232 W ASH TOWER 9/08/15 900 W SPRUCE 9/08/15 2232 W ASH-WATER TOWER 106.95 WESTAR ENERGY

KANSAS PUBLIC EMPLOYEES

219.66

438.93

311.64

148.31

9/08/15 2100 N JACKSON-WATER

9/04/15 KPERS #1

9/04/15 KPERS #2

9/04/15 KPERS #3

DEPARTMENT	FUND	VENDOR NAME	DATE	DESCRIPTION	AMOUNT_
					94.82
		THE PRINTERY	9/08/15	WATER-WINDOW ENV. W/IMPRIN	494.50
		CINTAS #451	9/08/15	SCRAPER/BROWN MAT	45.28
		XEROX CORPORATION	9/01/15	Water Dept Copier	177.39
		THE PRINTERY CINTAS #451 XEROX CORPORATION		TOTAL:	3,232.77
SEWER DISTRIBUTION	WATER & SEWER FUND	INTERNAL REVENUE SERVICE	9/04/15	SOCIAL SECURITY WITHHOLDIN	416.59
			9/04/15	MEDICARE WITHHOLDING	97.42
		VERIZON WIRELESS	9/04/15	MUNICIPAL SER. DIR 25% MARSTON-761-5354 761-5373-DEPT	8.93
			9/04/15	MARSTON-761-5354	25.81
		KANSAS ONE-CALL SYSTEMS, INC. CENTRAL POWER SYSTEMS & SERVICES MOTION INDUSTRIES INC CLASS C SOLUTIONS GROUP KEY OFFICE EQUIPMENT WESTAR ENERGY	9/04/15	/61-53/3-DEPT	25.81
		KANSAS ONE-CALL SYSTEMS, INC.	8/31/15	AUGUST 2015 LOCATES	136.50
		CENTRAL POWER SYSTEMS & SERVICES	8/2//15	TECH CODEM KITC	140.01
		MOTION INDUSTRIES INC	0/04/15	TECH SCREW KITS	141.50
		CLACC C COLUMIONS CDOUD	9/04/15	HOSE FOR VEHICLES	416.29
		CLASS C SOLUTIONS GROUP	0/25/15	FLEET SHOP PIECES	207.35
		MEN OFFICE FOULDMENT	8/26/15	FLEET SHOP PIECES	41.65
		KEY OFFICE EQUIPMENT	0/04/15	FILES AND SHREDDERS	39.50
		TIPOTER THE CIT	9/04/15	INK FOR PRINTERS	1/2.48
		WESTAR ENERGY	9/08/15	1452 CANDLELIGHT LIET PUMP	29.22
			9/08/15	1121 CYPRESS-LIFT PUMP	33.39
			9/08/15	100 HOOVER LIFT POMP	91.40
			9/08/15	1935 NORTHWIND-LIFT PUMP 630 E ST LIFT PUMP	33.59
			9/08/15	400 E CHESTNUT LIFT PUMP	26.97
			9/08/15	400 E CHESTNUT LIFT PUMP	85.17
			9/08/15	2309 N JACKSON- LIFT PUMP 948 GRANT AVE LIFT PUMP	23.78
			9/08/15	948 GRANT AVE LIFT PUMP	25.58
			9/08/15	1001 GOLDENBELT LIFT PUMP 500 E ASH LIFT PUMP	26.34
			9/08/15	1701 COLDENDRIA DIVIDITEM	22.58
		WANGAG DUDI TO EMDI OVERO	9/08/15	1701 GOLDENBELT BLVD LIFT KPERS #1 KPERS #2 KPERS #3	27.03
		KANSAS PUBLIC EMPLOYEES	9/04/15	KPERS #1	/5.05
			9/04/15	KPERS #2	407.13
			9/04/15	KPERS #3	106.12
		NIADA AUMO DADMO OD I O	9/04/15	KPERS INSURANCE	10.61
		NAPA AUTO PARTS OF J.C.	8/28/13	CLAMP	10.61
			8/26/15	AIR FILTER	1.43
			0/26/15	FILTERS	10.59
		NAPA AUTO PARTS OF J.C. CINTAS #451 VICTOR L PHILLIPS CO	0/25/15	GAS CAP	10.58
		CINTAS #451	0/01/15	WKLY MATS AND TOWELS	26.12
		MITAMOR I RUITITRA AO	9/01/13	WALL SHOP INLS & OFF MAIS	20.12
		VICTOR L PHILLIPS CO	8/12/15	COUNTER PARTS FOR 698 AND	06.48
			0/20/13	BACKHOE PADS	200.02
		WHITE CEAD	0/20/13	BACKHOE PADS TOOTH, BUCK, KEY, BUCKET CONCRETE SAW	30.07
		WHITE STAR	8/28/15	CONCRETE SAW	313.75_ 3,835.04
				TOTAL:	3,835.04
SEWER ADMINISTRATION	WATER & SEWER FUND	INTERNAL REVENUE SERVICE	9/04/15	SOCIAL SECURITY WITHHOLDIN	486.48
			9/04/15	MEDICARE WITHHOLDING	113.77
		KANSAS PUBLIC EMPLOYEES	9/04/15	KPERS #1	450.12
				KPERS #2	245.54
			9/04/15	KPERS #3	82.94
			9/04/15	KPERS INSURANCE	82.14
		THE PRINTERY	9/08/15	SEWER-WINDOW ENV. W/IMPRIN	494.50_
				TOTAL:	1,955.49
WASTEWATER PLANTS	WATER & SEWER FUND	FLUID EQUIPMENT	9/02/15	SW WWTP INFLUENT PUMP	2,700.00

PAGE: 14

DEPARTMENT FUND VENDOR NAME DATE DESCRIPTION AMOUNT 9/08/15 EWWT PLANT F & R SERVICES 446.25 8/24/15 WASTEWATER UTILITY VEOLIA WATER NORTH AMERICA 122,875.00 8/24/15 WW MONTHLY R & M FEE 39,416.67 TOTAL: 165,437.92 STORM WATER INTERNAL REVENUE SERVICE 9/04/15 FEDERAL WITHHOLDING 316.52 NON-DEPARTMENTAL 9/04/15 SOCIAL SECURITY WITHHOLDIN 219.62 9/04/15 MEDICARE WITHHOLDING 51.37 9/04/15 GREAT WEST FINANCIAL GREAT WEST FINANCIAL 87.14 KANSAS DEPT OF REVENUE 9/04/15 STATE WITHHOLDING 112.48 KANSAS PUBLIC EMPLOYEES 9/04/15 KPERS #1 131.31 9/04/15 KPERS #2 9/04/15 KPERS #3

CITY OF JC FLEX SPENDING ACCT 1074334
9/04/15 FLEX SPENDING-1074334
48.65
FLEXIBLE SPENDING ACCOUNT #1074334
9/04/15 DEPENDENT CARE ACCT 10743
13.54
TOTAL: 1,076.24 13.54 171.98 STORM WATER ADMINISTRA STORM WATER INTERNAL REVENUE SERVICE 9/04/15 SOCIAL SECURITY WITHHOLDIN 9/04/15 MEDICARE WITHHOLDING 40.21 CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 KDHE STORM WATER PERMIT 60.00 AMEC ENVIRONMENT & INFRASTRUCTURE INC 9/08/15 JC SA MONITORING PLAN 2,855.00 5,107.02 9/08/15 SERVICE AUTHORIZATION #9 KANSAS PUBLIC EMPLOYEES 9/04/15 KPERS #1 141.01 9/04/15 KPERS #2 9/04/15 KPERS INSURANCE 10.05 29.92 TOTAL: 8,547.76 9/04/15 SOCIAL SECURITY WITHHOLDIN 47.61 STORM WATER DISTRIBUTI STORM WATER INTERNAL REVENUE SERVICE 9/04/15 MEDICARE WILLIAMS
8/25/15 FLEET SHOP PIECES 11.14 CLASS C SOLUTIONS GROUP 82.94 16.66 9/04/15 KPERS #1 74.88 KANSAS PUBLIC EMPLOYEES 9/04/15 KPERS INSURANCE 7.90 8/25/15 WEEKLY MATS AND TOWELS CINTAS #451 10.45 10.45_ 9/01/15 WKLY SHOP TWLS & OFF MATS TOTAL: 262.03 ECONOMIC DEVELOPMENT ECONOMIC DEVELOPME EMPRISE BANK 8/24/15 IRB-PMT 2031 SPR VLY RD-JU 17,832.50 8/24/15 IRB-PMT 2031 SPR VLY RD-JU 11,810.70 CITY OF JUNCTION CITY PETTY CASH 10743 8/28/15 SOS FILE SPIRIT OF 76 TAXE 8/26/15 LIFESTAR-DEMO WIRING 1,853.39_ TOTAL: 31,536.59 DAVE'S ELECTRIC, INC. 34.71_ SPECIAL HIGHWAY FU CENTURYLINK COMMUNICATION, INC. 9/02/15 ENGINEERING SPECIAL HIGHWAY TOTAL: 34.71 1,009.61 NON-DEPARTMENTAL SANITATION FUND INTERNAL REVENUE SERVICE 9/04/15 FEDERAL WITHHOLDING 9/04/15 SOCIAL SECURITY WITHHOLDIN 672.29 9/04/15 MEDICARE WITHHOLDING GREAT WEST FINANCIAL 9/04/15 GREAT WEST FINANCIAL 96.83 KANSAS DEPT OF REVENUE 9/04/15 STATE WITHHOLDING 302.52 KANSAS PUBLIC EMPLOYEES 9/04/15 KPERS #1 172.32 9/04/15 KPERS #2 493.11 9/04/15 KPERS #3 6.36 CITY OF JC FLEX SPENDING ACCT 1074334 9/04/15 FLEX SPENDING-1074334 70.22

PAGE: 15

FIRE EOUIPMENT RESERVE FIRE EOUIPMENT RES INTRUST BANK, N.A.

SUNDOWN SALUTE

FELD FIRE

SUNDOWN SALUTE SUNDOWN SALUTE INC

QUALITY STRUCTURES INC.

38,590.00

458.00

458.00

8/28/15 FIRE TRUCK LEASE PMT 117,032.03 8/28/15 FIRE TRUCK INTEREST ON LEA 10,387.97 8/24/15 AIR PACKS 4,400.00

8/24/15 AIR PACKS 9/08/15 STN 2 STORAGE BLDG (1/2) 38,590.00_ TOTAL: 170,410.00

8/28/15 FIRE TRUCK LEASE PMT

9/08/15 AUG 2015-WATER BILL DONATI

09-08-2015 04:17 PM	APPROPRIATIONSAUG 26 2015-SEPT 8 2015-CS	PAGE:	17

DATE DESCRIPTION

VENDOR NAME

FUND

DEPARTMENT

					_
NON-DEPARTMENTAL	DRUG & ALCOHOL ABU	INTERNAL REVENUE SERVICE JCPOA KANSAS DEPT OF REVENUE KANSAS PUBLIC EMPLOYEES CITY OF JC FLEX SPENDING ACCT 1074334	9/04/15 9/04/15	FEDERAL WITHHOLDING MEDICARE WITHHOLDING	170.39 26.67
		JCPOA	9/04/15	JCPOA	20.00
		KANSAS DEPT OF REVENUE	9/04/15	STATE WITHHOLDING	52.06
		KANSAS PUBLIC EMPLOYEES	9/04/15	KP&F	135.91
		CITY OF JC FLEX SPENDING ACCT 1074334	9/04/15	FLEX SPENDING-1074334	50.00_
				TOTAL:	455.03
DRUG & ALCOHOL ABUSE	DRUG & ALCOHOL ABU	INTERNAL REVENUE SERVICE KANSAS PUBLIC EMPLOYEES	9/04/15	MEDICARE WITHHOLDING	26.67
		KANSAS PUBLIC EMPLOYEES	9/04/15	KP&F	406.01_
				TOTAL:	432.68
NON-DEPARTMENTAL	SPECIAL LE TRUST F	INTERNAL REVENUE SERVICE	9/04/15	FEDERAL WITHHOLDING	34.16
			9/04/15	SOCIAL SECURITY WITHHOLDIN	33.80
			9/04/15	MEDICARE WITHHOLDING	7.91
		GREAT WEST FINANCIAL	9/04/15	GREAT WEST FINANCIAL	25.00
		KANSAS DEPT OF REVENUE KANSAS PUBLIC EMPLOYEES CITY OF JC FLEX SPENDING ACCT 1074334	9/04/15	SOCIAL SECURITY WITHHOLDIN MEDICARE WITHHOLDING GREAT WEST FINANCIAL STATE WITHHOLDING KPERS #1 FLEX SPENDING-1074334	11.81
		KANSAS PUBLIC EMPLOYEES	9/04/15	KPERS #1	35.13
		CITY OF JC FLEX SPENDING ACCT 1074334	9/04/15	FLEX SPENDING-1074334	12.50
				TOTAL:	160.31
SPECIAL LAW ENFORCEMEN	SPECIAL LE TRUST F	INTERNAL REVENUE SERVICE JENNIFER ARNESON, DVM VERIZON WIRELESS CENTURY LINK CATHY FAHEY DAVE'S ELECTRIC, INC. GEISLER ROOFING AND HOME IMPROVEMENT KANSAS PUBLIC EMPLOYEES	9/04/15	SOCIAL SECURITY WITHHOLDIN	33.79
			9/04/15	MEDICARE WITHHOLDING	7.90
		JENNIFER ARNESON, DVM	9/08/15	12 EXAM/VACCINE/BOARD-BARN	303.35
		VERIZON WIRELESS	9/01/15	DTF CELL AUGUST 2015	151.42
		CENTURY LINK	9/08/15	90000671435 DTF PHONE SERV	38.26-
			9/08/15	90000672391 DTF PHONE SERV	38.38
			9/08/15	P071401534 DTF PHONE SERVI	38.38
			9/08/15	PO81801606 DTF PHONE SERVI	38.38
		CATHY FAHEY	9/04/15	AUGUST 2015 MILEAGE	20.54
		DAVE'S ELECTRIC, INC.	9/04/15	2015354 PD PAVILLION	1,166.52
			9/04/15	2015381 ROOFTOP AC WAREHOU	104.00
		GEISLER ROOFING AND HOME IMPROVEMENT	9/08/15	PD WAREHOUSE-WOOD REPLACE	106.50
		GEISLER ROOFING AND HOME IMPROVEMENT KANSAS PUBLIC EMPLOYEES	9/04/15	KPERS #1	55.49
			9/04/15	KPERS INSURANCE	5.85
		MONTGOMERY COMMUNICATIONS INC	9/04/15	15CV186 PUBLICATION NOTICE	94.61
		MONTGOMERY COMMUNICATIONS INC	9/04/15	15CV241 PUBLICATION NOTICE	92.25
			9/04/15	15CV243 PUBLICATION NOTICE	94.61
			9/04/15	15CV243 PUBLICATION NOTICE 15CV244 PUBLICATION NOTICE	94.61
		NEX-TECH	9/03/15	DRUG TASK FORCE	0.89
				TOTAL:	2,409.21
NATIONAL NIGHT OUT	LAW ENFORCEMENT TR	CRITERION PICTURES USA	9/08/15	404286 BLOCK PARTY MOVIE	300.00
	2111 2111 011 021 221 1	0.112.120.0 110101.20 0011	3, 00, 10	TOTAL:	300.00
וא ד גרם שואים אווים אבר מים איני	TAM ENEODOEMENT TO	CIMV OF THMOMION CIMV DEMMY CACH 10742	0/20/15	M DYVIIDAME AVII DEIMDIIDGEM	2 20
LAW ENFORCEMENT TRAIN	LAW ENFORCEMENT TR	CITY OF JUNCTION CITY PETTY CASH 10743 DARREL SCHENCK	0/28/13	M PAQUETTE TULL REIMBURSEM	2.20
		DAKKEL SCHENCK	9/04/15		125.00_ 127.20
				TOTAL:	12/.20
LAND BANK	JC LAND BANK	CITY OF JUNCTION CITY PETTY CASH 10743	8/28/15		
				TOTAL:	372.00

AMOUNT_

09-08-2015 04:17 PM		APPROPRIATIONSAUG 26 2015-SEPT 8 2015-CS			PAGE:	18
DEPARTMENT	FUND	VENDOR NAME	DATE	DESCRIPTION		AMOUNT_

	====== FUND TOTALS =====	
01	GENERAL FUND	308,425.57
02	GRANTS	8,545.53
12	BOND & INTEREST	51,086.28
15	WATER & SEWER FUND	295,095.78
18	STORM WATER	9,886.03
19	ECONOMIC DEVELOPMENT	31,536.59
22	SPECIAL HIGHWAY FUND	34.71
23	SANITATION FUND	39,761.04
25	CAPITAL IMPROVEMENT FUND	59,334.00
26	FIRE EQUIPMENT RESERVE	170,410.00
46	SUNDOWN SALUTE	458.00
47	DRUG & ALCOHOL ABUSE FUND	887.71
50	SPECIAL LE TRUST FUND	2,569.52
54	LAW ENFORCEMENT TRAINING	427.20
75	JC LAND BANK	372.00
	GRAND TOTAL:	978 , 829.96

TOTAL PAGES: 18

09-08-2015 04:17 PM APPROPRIATIONS- -AUG 26 2015-SEPT 8 2015-CS PAGE: 19

SELECTION CRITERIA

SELECTION OPTIONS

VENDOR SET: 01-CITY OF JUNCTION CITY, KS

VENDOR: All CLASSIFICATION: All All BANK CODE:

ITEM DATE: 0/00/0000 THRU 99/99/9999

ITEM AMOUNT: 99,999,999.00CR THRU 99,999,999.00

GL POST DATE: 0/00/0000 THRU 99/99/9999 CHECK DATE: 8/26/2015 THRU 9/08/2015

PAYROLL SELECTION

PAYROLL EXPENSES: NO

CHECK DATE: 0/00/0000 THRU 99/99/9999

PRINT OPTIONS

PRINT DATE: GL Post Date By Department SEQUENCE: GL ACCTS: NO
REPORT TITLE: APPROPRIATIONS- -AUG 26 2015-SEPT 8 2015-CS
SIGNATURE LINES: 0

PACKET OPTIONS

INCLUDE REFUNDS: YES INCLUDE OPEN ITEM:NO

TYPE: Check
STATUS: All
FOLIO: All

9/08/2015 4:19 PM CHECK RECONCILIATION REGISTER PAGE: 1 COMPANY: 99 - POOLED CASH FUND CHECK DATE: 8/26/2015 THRU 9/08/2015

CLEAR DATE: 0/00/0000 THRU 99/99/9999 ACCOUNT: 1-00-00-0101 POOLED CASH MASTER STATEMENT: 0/00/0000 THRU 99/99/9999 VOIDED DATE: 0/00/0000 THRU 99/99/9999 0.00 THRU 999,999,999.99 AMOUNT:

CHECK NUMBER:

000000 THRU

999999

ACCOUNT --DATE-- --TYPE-- NUMBER ------DESCRIPTION----- ----AMOUNT--- STATUS FOLIO CLEAR DATE

1-00-00-0101	8/28/2015 CHECK	255342	CITY OF JUNCTION CITY PETTY CA	3,007.25CR	OUTSTND	Α	0/00/0000
1-00-00-0101	8/28/2015 CHECK	255343	VOID CHECK	0.00	CLEARED	Α	8/31/2015
1-00-00-0101	8/28/2015 CHECK	255344	VOID CHECK INTRUST BANK, N.A. JOSHUA DOUGLASS	127,420.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	8/31/2015 CHECK	255345	JOSHUA DOUGLASS	2,500.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/02/2015 CHECK	255346	CENTURYLINK COMMUNICATION, INC	1,141.24CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/04/2015 CHECK	255347	JAN HAMILTON, CH.13 TRUSTEE-	600.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/04/2015 CHECK	255348	CARVER & BLANTON SHEA	301.91CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/04/2015 CHECK	255349	KANSAS PAYMENT CENTER	1,099.14CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/04/2015 CHECK	255350	JAY W. VANDER VELDE	100.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/04/2015 CHECK	255351	W H GRIFFIN, TRUSTEE	729.23CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/04/2015 CHECK	255352	CITY OF JC FLEX SPENDING ACCT	3,995.89CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/04/2015 CHECK	255353	FLEXIBLE SPENDING ACCOUNT #107	343.75CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/03/2015 CHECK	255354	REFUND: LAMBERT, JERRY	11.00CR	OUTSTND	L	0/00/0000
1-00-00-0101	9/03/2015 CHECK	255355	REFUND: RHODES, FRANK	11.00CR	OUTSTND	L	0/00/0000
1-00-00-0101	9/03/2015 CHECK	255356	REFUND: FAGNANI, TIM	5.00CR	OUTSTND	L	0/00/0000
1-00-00-0101	9/03/2015 CHECK	255357	FLUID EQUIPMENT	2,700.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/03/2015 CHECK	255358	JOSHUA DOUGLASS CENTURYLINK COMMUNICATION, INC JAN HAMILTON, CH.13 TRUSTEE- CARVER & BLANTON SHEA KANSAS PAYMENT CENTER JAY W. VANDER VELDE W H GRIFFIN, TRUSTEE CITY OF JC FLEX SPENDING ACCT FLEXIBLE SPENDING ACCOUNT #107 REFUND: LAMBERT, JERRY REFUND: RHODES, FRANK REFUND: FAGNANI, TIM FLUID EQUIPMENT NEX-TECH VERIZON WIRELESS AMEC ENVIRONMENT & INFRASTRUCT APAC KANSAS, INC.	25.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/04/2015 CHECK	255359	VERIZON WIRELESS	3,843.69CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255360	AMEC ENVIRONMENT & INFRASTRUCT	7,962.02CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255361	AMEC ENVIRONMENT & INFRASTRUCT APAC KANSAS, INC. JENNIFER ARNESON, DVM ASSOCIATED INSULATION INC BAMFORD FIRE SPRINKLER CO, INC BARTON COUNTY COMMUNITY COLLEG BAYER CONSTRUCTION CO. JOHN BERNSTEIN C & M LAWN SERVICES CASH-WA DISTRIBUTING CDW GOVERNMENT INC CENTRAL POWER SYSTEMS & SERVIC CENTURY BUSINESS TECHNOLOGIES	3,358.84CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255362	JENNIFER ARNESON, DVM	303.35CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255363	ASSOCIATED INSULATION INC	500.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255364	BAMFORD FIRE SPRINKLER CO, INC	240.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255365	BARTON COUNTY COMMUNITY COLLEG	802.29CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255366	BAYER CONSTRUCTION CO.	4,645.16CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255367	JOHN BERNSTEIN	180.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255368	C & M LAWN SERVICES	5,716.80CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255369	CASH-WA DISTRIBUTING	664.44CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255370	CDW GOVERNMENT INC	909.03CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255371	CENTRAL POWER SYSTEMS & SERVIC	822.54CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255372			OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255373	CENTURY LINK CENTURYLINK COMMUNICATION, INC	76.88CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255374	CENTURYLINK COMMUNICATION, INC	1,007.52CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255375	CHAMBER OF COMMERCE	36.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255376	CINTAS #451	371.11CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255377	CLARK & PLATT, CHTD.	750.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255378	CLASS C SOLUTIONS GROUP	996.02CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255379	CENTURYLINK COMMUNICATION, INC CHAMBER OF COMMERCE CINTAS #451 CLARK & PLATT, CHTD. CLASS C SOLUTIONS GROUP CONCORDIA TRACTOR CONTINENTAL PROFESSIONAL LANDR CORYELL INSURORS, INC. CRAFCO, INC. CRITERION PICTURES USA CROWN DISTRIBUTORS, INC. D. GERBER COMMERCIAL POOL PROD	5,950.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255380	CONTINENTAL PROFESSIONAL LANDR	242.35CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255381	CORYELL INSURORS, INC.	150.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255382	CRAFCO, INC.	396.78CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255383	CRITERION PICTURES USA	300.00CR	OUTSTND	Α	0/00/0000
4 00 00 0404	0 /00 /004 5	055004		016 0765	0.1100.00110	- 70	0 /00 /0000
1-00-00-0101	9/08/2015 CHECK	255384	CROWN DISTRIBUTORS, INC.	216.2/CR	OUTSTND	Α	0/00/0000

9/08/2015 4:19 PM CHECK RECONCILIATION REGISTER PAGE: 2 CHECK DATE: 8/26/2015 THRU 9/08/2015
CLEAR DATE: 0/00/0000 THRU 99/99/9999 COMPANY: 99 - POOLED CASH FUND ACCOUNT: 1-00-00-0101 POOLED CASH MASTER

TYPE: Check
STATUS: All
FOLIO: All STATEMENT: 0/00/0000 THRU 99/99/9999 VOIDED DATE: 0/00/0000 THRU 99/99/9999 0.00 THRU 999,999,999.99 AMOUNT: CHECK NUMBER: 000000 THRU 999999

ACCOUNT --DATE-- --TYPE-- NUMBER ------DESCRIPTION----- ----AMOUNT--- STATUS FOLIO CLEAR DATE

CHECK:			DARREL SCHENCK DAVE'S ELECTRIC, INC. JOSHUA DOUGLASS F & R SERVICES CATHY FAHEY FELD FIRE FLINT HILLS BEVERAGE LLC FOLEY EQUIPMENT FOOTJOY/TITLEIST FORENSIC TRUTH ANALYSIS, LLC GADES SALES CO. GARAGE DOOR PLACE GEARY COUNTY PUBLIC WORKS GEARY COUNTY RWD #4 GEARY COUNTY SHERIFF GEISLER ROOFING AND HOME IMPRO GROSS WRECKER SERVICE				
1-00-00-0101	9/08/2015 CHECK	255386	DARREL SCHENCK	125.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255387	DAVE'S ELECTRIC, INC.	3,123.91CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255388	JOSHUA DOUGLASS	2,500.00CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255389	F & R SERVICES	9,138.71CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255390	CATHY FAHEY	20.54CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255391	FELD FIRE	4,400.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255392	FLINT HILLS BEVERAGE LLC	203.26CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255393	FOLEY EQUIPMENT	2,654.49CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255394	FOOTJOY/TITLEIST	463.04CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255395	FORENSIC TRUTH ANALYSIS, LLC	300.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255396	GADES SALES CO.	2,568.99CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255397	GARAGE DOOR PLACE	145.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255398	GEARY COUNTY PUBLIC WORKS	33,193.94CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255399	GEARY COUNTY RWD #4	64.79CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255400	GEARY COUNTY SHERIFF	1,980.00CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255401	GEISLER ROOFING AND HOME IMPRO	58,940.50CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255402	GROSS WRECKER SERVICE	476.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255403	HUGO'S INDUSTRIAL SUPPLY, INC.		OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255404			OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255405	IBM INTERSTATE ELEVATOR INC. INTRUST BANK, N.A. IRISH CREEK LODGE JOHN DEERE LANDSCAPES/LESCO KA-COMM KANSAS ASSOCIATION OF CITY/COU	972.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255406	INTRUST BANK, N.A.	50,681.28CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255407	IRISH CREEK LODGE	650.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255408	JOHN DEERE LANDSCAPES/LESCO	672.73CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255409	KA-COMM	1,601.35CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255410	KANSAS ASSOCIATION OF CITY/COU	140.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255411	KANSAS GAS SERVICE	798.65CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255412	KANSAS ASSOCIATION OF CITY/COU KANSAS GAS SERVICE KANSAS ONE-CALL SYSTEMS, INC. KEY EQUIPMENT KEY OFFICE EQUIPMENT MASSCO MIDWEST CONCRETE MATERIALS MIDWEST SINGLE SOURCE INC MIKE'S FIRE EXT. SALES MIZE & HOUSER COMPANY MONIQUE GIDDENS MONTGOMERY COMMINICATIONS INC	273.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255413	KEY EOUIPMENT	36.14CR	OUTSTND	А	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255414	KEY OFFICE EQUIPMENT	1,107.15CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255415	MASSCO	4,949.34CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255416	MIDWEST CONCRETE MATERIALS	826.29CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255417	MIDWEST SINGLE SOURCE INC	270.00CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255418	MIKE'S FIRE EXT. SALES	49.15CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255419	MIZE & HOUSER COMPANY	1,000.00CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255420	MONIQUE GIDDENS	25.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255421	MONTGOMERY COMMUNICATIONS INC	447.18CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255422	MOORE MEDICAL LLC	1,173.54CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255423	MOTION INDUSTRIES INC	1,398.58CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255424		2,803.54CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK		VOID CHECK	0.00	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK		NCKCN.COM	10.00CR	OUTSTND	А	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255427	NEX-TECH	11.20CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255428	OFFICE OF THE ATTORNEY GENERAL	135.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255429	OMNI BILLING	5,161.69CR	OUTSTND	Α	0/00/0000
1 00 00 0101	2, 00, 2010 0112010	200123		0,101.00010	20101110		2, 20, 0000

TYPE: Check
STATUS: All
FOLIO: All

9/08/2015 4:19 PM CHECK RECONCILIATION REGISTER PAGE: 3 COMPANY: 99 - POOLED CASH FUND 8/26/2015 THRU 9/08/2015 CHECK DATE: ACCOUNT: 1-00-00-0101 POOLED CASH MASTER

CLEAR DATE: 0/00/0000 THRU 99/99/9999 STATEMENT: 0/00/0000 THRU 99/99/9999 0/00/0000 THRU 99/99/9999 VOIDED DATE: AMOUNT: 0.00 THRU 999,999,999.99 CHECK NUMBER: 000000 THRU 999999

ACCOUNT --DATE-- --TYPE-- NUMBER ------DESCRIPTION----- ----AMOUNT--- STATUS FOLIO CLEAR DATE

IECK:								
1-00-00-0101	9/08/2015 CHECK		ONE ACCORD		600.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255431	OPEN DOOR COMM.	. HOUSE	8,545.53CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255432	PURVIS LAW OFFI	ICE LLC	500.00CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255433	QUALITY STRUCTURES INC.		38,590.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255434	R & R PRODUCTS CO.		131.94CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK		REDI SYSTEMS INC.		114.62CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255436	REGELMAN LIQUOR STORE ROADSIDE VENTURES		48.05CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255437	ROADSIDE VENTURES		300.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255438	ROTHWELL LANDSCAPE INC		211.20CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255439	SECURITY SOLUTIONS INC		220.00CR 948.00CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255440	SERVICEMASTER		948.00CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255441	SHONTRELL NELSON			OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255442	SHONTRELL NELSON SNACK EXPRESS		25.00CR 908.50CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255443	SOUTHEASTERN EMERGENCY EQUIPME		1,371.72CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK		STAPLES ADVANTAGE		2,002.48CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255445			458.00CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255446			989.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255447	THREE RIVERS ENGRAVING		15 65CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255448	TLC MOBILE SERVICES		522.00CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK		US FOOD SERVICE		77.21CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK		VAN WALL EOUIPMENT		77.21CR 105.23CR 509.96CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255451	VAN WALL EQUIPMENT VANDERBILTS		509.96CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK		VICTOR L PHILLIPS CO		3,477.86CR	OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK		WESTAR ENERGY		3,477.86CR 68,766.33CR	OUTSTND	Α	0/00/0000
1-00-00-0101						OUTSTND	Α	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255455	WHITE STAR XEROX CORPORATION		177.39CR	OUTSTND	A	0/00/0000
1-00-00-0101	9/08/2015 CHECK	255456	YAMAHA MOTOR CORPORATION, U.S.		3,595.00CR	OUTSTND	A	0/00/0000
TOTALS FOR ACCOUNT 1-00-00-			CHECK	TOTAL:	519,312.73CR			
			DEPOSIT	TOTAL:	0.00			
			INTEREST	TOTAL:	0.00			
			MISCELLANEOUS	TOTAL:	0.00			
			SERVICE CHARGE	TOTAL:	0.00			
			EFT	TOTAL:	0.00			
			BANK-DRAFT	TOTAL:	0.00			
TOTALS FOR POOLED CASH FUND			CHECK	TOTAL:	519,312.73CR			
			DEPOSIT	TOTAL:	0.00			
			INTEREST	TOTAL:	0.00			
TOTALS FOR POOLED CASH FUND			BANK-DRAFT CHECK DEPOSIT	TOTAL: TOTAL: TOTAL: TOTAL: TOTAL:	0.00 519,312.73CR 0.00			

Backup material for agenda item:

b. Consideration of City Commission Minutes for September 1, 2015.

CITY COMMISSION MINUTES

September 1, 2015 7:00p.m.

CALL TO ORDER

The scheduled meeting of the Junction City Commission was held on Tuesday, September 1, 2015 with Mayor Mick McCallister presiding.

The following members of the Commission were present: Phyllis Fitzgerald, Pat Landes, Mick McCallister, Michael Ryan, and Jim Sands. Staff present was: City Manager Dinkel, Assistant City Manager Beatty, City Attorney Logan, and City Clerk Ficken.

CONSENT AGENDA

Commissioner Landes moved, seconded by Commissioner Fitzgerald to approve the consent agenda as presented. Aye: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried

- a. Consideration of Appropriation Ordinance A-17 dated Aug 12, 2015 to August 25, 2015 in the amount of \$1,629,252.75.
- b. Consideration of August 18, 2015 City Commission Minutes.
- c. Consideration and approval of Payroll #15 and #16 for July & August of 2015.

SPECIAL PRESENTATIONS

I.C.A.R.E Proclamation - Intergenerational Month. Mayor McCallister presented the proclamation.

Recovery Month Proclamation - Pawnee Mental Health. Mayor McCallister presented the proclamation.

Muscular Dystrophy Association Proclamation. Mayor McCallister presented the proclamation.

APPOINTMENTS

Appointment to the Metropolitan Planning Commission/Board of Zoning Appeals to fill vacancy on said Commission/Board. Commissioner Landes moved, seconded by Commissioner Ryan to approve the appointment of Jeff Underhill to the Metropolitan Planning Commission/Board of Zoning Appeals. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

NEW BUSINESS

Consideration of an amendment to Engineering Agreement for Additional Design Services on K-18 Highway and Highway 77-Sanitary Sewer Relocation. Commissioner Landes moved, seconded by Commissioner Sands to approve the amendment for additional engineering services in the amount of \$8,070.00 as presented. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

Consideration of an amendment to Engineering Agreement with Geotechnical Services K-18 and Highway 77-Sanitary Sewer Collection. Commissioner Sands moved, seconded by Commissioner Fitzgerald to approve amendment to Engineering agreement for Geotechnical Services as presented in the amount of \$8,500.00. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

Consideration of a Request to Delay or Abate Special Assessments for Property for Riverside Development Project. No action taken.

Consideration of Resolution No.2792 adoption of the FEMA Region I Mitigation Plan. Commissioner Sands moved, seconded by Commissioner Landes to approve R-2792 as presented. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

Authorization to open one new bank account for Special Law Enforcement funds. Commissioner Ryan moved, seconded by Commissioner Sands to approve R-2791 as presented. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

Consideration to accept and administer Kansas Housing Resources Corporation grant on behalf of the Open Door for general operations in the amount of \$46,216.00. Commissioner Fitzgerald moved, seconded by Commissioner Ryan to approve accepting and administering the ESG grant as presented in the amount of \$46,216.00. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

Consideration and approval of noise waiver and street closure for City of Junction City Fire Department's outdoor Block Party benefiting Muscular Dystrophy Association at Coach's Grill and Bar on September 12, 2015. Commissioner Fitzgerald moved, seconded by Commissioner Sands to approve noise waiver and street closure for the Muscular Dystrophy Association as presented. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

Consideration of LKM Conference delegates. Commissioner Fitzgerald moved, seconded by Commissioner Ryan to approve the appointment of Jim Sands and Cheryl Beatty to serve as delegates to the LKM annual conference. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

Work Ready Community Certification Initiative. Commissioner Landes moved, seconded by Commissioner Fitzgerald to approve Work Ready Community Support Form as presented. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

Consideration of a special event permit for the Elk's Club. Commissioner Landes moved, seconded by Commissioner Ryan to approve a special event permit to the Elk's Club as requested. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

Consideration of a Contract of Sale for the Elmdale property. Commissioner Landes moved, seconded by Commissioner Fitzgerald to approve sale contract on the Elmdale property as presented. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

EXECUTIVE SESSION

An executive session to discuss legal issues. Commissioner Landes moved, seconded by Commissioner Ryan at 8:35 p.m. to adjourn to executive session for 30 minutes to discuss issues of attorney client privilege to include the Commission, City Attorney, City Manager, and Assistant City Manager. Ayes: Fitzgerald, Landes, McCallister, Ryan, sands. Nays: none. Motion carried. At 9:05 p.m. Commissioner Ryan moved, seconded by Commissioner Sands to adjourn from executive session where no decisions were made and no actions were taken. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

COMMISSIONER COMMENTS

Mayor & Commissioners provided reports on Committees and community events.

ADJOURNMENT

Commissioner Landes moved, seconded by Commissioner Fitzgerald to adjourn at 9:30 p.m. Ayes: Fitzgerald, Landes, McCallister, Ryan, Sands. Nays: none. Motion carried.

APPROVED AND ACCEPTED THIS 15TH DAY OF SEPTEMBER AS THE OFFICIAL COPY OF THE JUNCTION CITY COMMISSION MINUTES FOR SEPTEMBER 1, 2015.

Tyler Ficken, City Clerk

Mick McCallister, Mayor

Backup material for agenda item:

c. Consideration of August 2015 ambulance contractual obligation adjustments and bad debt adjustments.

City of Junction City

City Commission

Agenda Memo

September 2, 2015

From: Kelly Heindel, Administrative Secretary II

To: City Commission and City Manager

Subject: August 2015 Ambulance Adjustments

Objective: Approval of ambulance contractual obligation adjustments and bad debt adjustments.

Explanation of Issue: Contractual obligations are required write-off adjustments by contractual insurance providers such as Medicare, Medicaid, Blue Cross, etc. Bad debt adjustments are accounts in which we have exhausted billing efforts to collect. After the bad debt adjustments, these accounts are forwarded to a collection agency and the Kansas Setoff Program.

Budget Impact:

Contractual Obligation Adjustment \$63,873.09

Bad Debt Adjustment \$39,747.58*

*Delay in adjustments by OMNI Billing in July reflect a higher than average monthly adjustment for Bad Debt Adjustments.

Alternatives: It appears that the City Commission has the following alternatives concerning the issues at hand. The Commission may:

- 1. Approve ambulance contractual obligation and bad debt adjustments in the amounts listed.
- 2. Disapprove ambulance contractual obligation and bad debt adjustments in the amounts listed.
 - 3. Modify the proposal...
 - Table the request.

Recommendation: Staff recommends approval of adjustments as listed

Enclosures:

Backup material for agenda item:

a. Consideration and Approval for Rimrock Lake Dam and Acceptance of a Remediation Design Alternative.

City of Junction City City Commission Agenda Memo

September 15th, 2015

From: Kristofer Finger, Assistant City Engineer

To: Allen Dinkel, City Manager and City Commissioners

Subject: Review of Dam Assessment Report for Rimrock Lake Dam and Acceptance of

a Remediation Design Alternative

Objective: Review Dam Assessment Report for Rimrock Lake Dam and Make a Decision on Remediating Existing Deficiencies of the Dam

Explanation of Issue: During the fall of 2014 the City received a report from the Kansas Department of Agriculture, Division of Water Resources (DWR) which detailed the results of an inspection of Rimrock Lake Dam carried out earlier in the year. The DWR report sited various deficiencies in the Dam which needed to be corrected. The City hired Amec Foster Wheeler in the spring of 2015 to perform an inspection of Rimrock Lake Dam and evaluate the existing condition of the dam to satisfy the requirements of K.S.A. 82a-301 *et seq* and compare the assessment's findings with those of DWR.

Amec's findings were essentially the same as DWR's. Amec has come up with four (4) alternatives to remediate the dam's deficiencies in DWR's requirements for detention storage. Alternative 1 is to lower the dam to a non-jurisdictional level. Amec was unable to develop an estimated cost for this option due to too many unknowns. Alternative 2 is to bring the dam in to compliance with DWR requirements and it was split into two options. Alternative 2A is to construct a new primary spillway and widen the auxiliary spillway at an estimated cost of \$511,000. Alternative 2B is to decommission the existing primary spillway, construct a service spillway and widen the auxiliary spillway at an estimated cost of \$298,000. Alternative 3 is decommission the dam at an estimated cost of \$346,000.

Of the alternatives Amec discusses in their assessment report, Alternative 1 is considered not a feasible option due to uncertainty in the ultimate cost of the project as well as the fact that it will put further stress on an already overburdened downstream system. Alternative 3 is considered not feasible because the pond provides numerous benefits to the community which would be lost if it went away. Alternative 3 would also cause further stress on the already overstressed downstream system. Alternative 2A is the option that most resembles the current existing conditions of the pond. In this alternative the primary spillway structure would be removed and a new one installed according to DWR requirements. Alternative 2B consists of decommissioning the existing primary spillway structure and constructing a service spillway in place of it. The service spillway would consist of all flow being directed over the top of the dam and flowing through pipes right under the sidewalk.

Using the assumption that the City still wishes to keep Rimrock Lake Dam it is the recommendation of staff that the City Commission elect to move forward with Alternative 2A as it will provide the greatest benefit to City through among other things it aesthetics and storm water detention. Staff plans to recommend to DWR a timeline for these improvements which will include a 2016 project design and 2017 project construction schedule.

Budget Impact: Funding for this project will come from the Storm Water Fund.

Alternatives: The City Commission may recommend to move forward with Alternative 1, 2A, 2B or

Recommendation: Staff recommends moving Assessment Report.	forward with Alternative 2A per Amec's Dam
Suggested Motion: Commissioner wishes to move forward with Alternative proposed schedule as laid out above.	moves to notify DWR that the City per Amec's Dam Assessment Report and the
Enclosures: Dam Assessment Report	

DRAFT

DAM ASSESSMENT REPORT

RIMROCK LAKE DAM JUNCTION CITY, GEARY COUNTY, KANSAS WSN: DGE-0057



Prepared for the City of Junction City, Kansas

July 2015

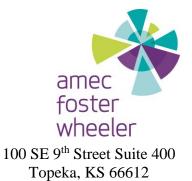


TABLE OF CONTENTS

INTRODUCTION	1
Background	1
Scope of Study	1
ORIGINAL DESIGN SUMMARY	1
SITE INSPECTION SUMMARY	1
Summary of Findings with Recommendations	2
Operation and Maintenance	2
DAM BREACH ANALYIS AND HAZARD CLASSIFICATION	3
Dam Breach Analysis	3
Hazard Classification	3
HYDOLOGY AND HYDRAULICS ANALYSIS	3
Hydrology	3
Criteria Conformance Analysis	4
Alternatives Analysis	
Alternative 1 – Lower Dam to Non-Jurisdictional	6
Alternative 2 - Modify Structure to meet DWR Criteria	
Alternative 3 – Decommissioning the Dam	
References	9
Appendix A	enort
Appendix B	•
Appendix C SITES Sum	
Appendix D	•

INTRODUCTION

Background

Rimrock Lake Dam is owned and operated by the City of Junction City and is located in Section 11, Township 12 South, Range 5 East in Geary County, Kansas. Rimrock Lake Dam has 0.5 square miles of contributing drainage area along the Republican River Tributary. The dam structure is a Class C (High Hazard), size 2 structure with minimal detention storage and primarily used for recreational purposes.

Scope of Study

The purpose of this assessment is to evaluate the existing condition of the dam, verify the hydrologic parameters used for design, evaluate the current hazard classification, determine if the existing structure meets current design criteria, and develop alternative concepts for bringing the dam into compliance K.S.A. 82a-301 *et seq*.

ORIGINAL DESIGN SUMMARY

Original Design & Design Criteria

Service Life	Unknown
Drainage Area	0.51 sq. miles
AMC II Curve Number	Unknown
Time of Concentration	Unknown
Original Stream Flow Line at Dam Centerline	EL. 1142.8
Principal Spillway (PSW) Inlet Flow Line	EL. 1164.6
Auxiliary Spillway (ASW) Crest	EL. 1166.5
Top of Dam Crest (settled	EL. 1170.0
Structure Size	2
Hazard Classification	
Principal Spillway Barrel	12" dia. CMP
Principal Spillway Riser	
Drawdown Mechanism	None
Drawdown Pipe Size	N/A
Principal Spillway Seepage Control	2 concrete cut-offs
Foundation Seepage Control	
Detention Storage Rainfall	Unknown
Design Storm Rainfall	
Auxiliary Spillway Design Exit Velocity	Unknown

SITE INSPECTION SUMMARY

On May 27, 2015 Amec Foster Wheeler (AmecFW) completed an inspection of Rimrock Lake Dam. The weather was sunny and 76°F at the time of inspection. In recent days leading up to the inspection, the area had received rainfall leaving the soils damp and difficult to determine seepage or excessive wet areas along the dam embankment. The water level was estimated to be two inches below the top of riser.

The findings are summarized below (the inspection report in its entirety with photo documentation is located in the Appendix A).

Summary of Findings with Recommendations

Embankment

- Animal burrows were observed on the downstream slope of the embankment. Burrows should be filled in.
- Dense trees and brush cover the downstream slope. Trees and shrubs should be removed completely.
- Minor woody debris accumulation on the upstream slope. Debris should be removed.
- Riprap sparsely covers upstream slope. Place additional riprap to protect shoreline.
- Significant erosion has occurred on the downstream slope. Grade to a stable slope. A slope of three horizontal to one vertical (3:1) is preferred for mowing. According to K.A.R. 5-40-46, 3:1 is the steepest allowable slope on the upstream and 2.5:1 on the downstream slope.
- Some weeds along upstream slope. Remove weeds.

Principal Spillway

- PSW conduit (12" CMP) was not found during the inspection. Previous reports suggest the conduit is plugged. Collect video documentation of the conduit to determine pipe integrity.
- Concrete cut-offs were used for seepage control. Current standards for a High Hazard (C), Class Size 2 would require a drainage diaphragm according to K.A.R. 5-40-54.

Outlet Channel

• Bank erosion along the channel. Grade banks of outlet channel to more stable slopes (preferably 3:1).

Auxiliary Spillway

 Downstream of the level section, the spillway was covered with dense trees and brush. Significant erosion has occurred along the downstream portion of the ASW. Remove trees and brush. Design and install slope protection of the ASW outlet.

Operation and Maintenance

The summary of findings listed above and the Dam Inspection Report located in the Appendix A address the adequacy of the operation and maintenance of the dam. The dam has been fairly well maintained, except for the downstream slope, ASW outlet, and outlet channel.

DAM BREACH ANALYIS AND HAZARD CLASSIFICATION

Dam Breach Analysis

A dam breach analysis was completed by the Kansas Department of Agriculture, Division of Water Resources (DWR) in 2013. The breach inundation maps are on file with DWR and included in Appendix B. They illustrate the areas downstream of the dam that have the potential to flood in the event of a dam failure.

The results developed from the analysis are considered sufficient for developing an inundation map, making a hazard classification determination and developing an emergency action plan. However, considering the methods, procedures, and assumptions used to develop the inundation areas, the limit of the breach inundation area shown are approximate. Actual areas inundated, in the event of a failure, would depend on actual failure and flooding conditions and may differ from the areas shown on the map. It is prudent to assume that areas outside, but adjacent to, the inundation limits shown could also be flooded.

Hazard Classification

Potential hazards within the limits of the inundation area were identified and assigned an elevation based on the LiDAR data and aerial photography.

According to K.A.R. 5-40-20, hazard class C means the failure of the a dam could result in any of the following: extensive loss of life, damage to more than one home, damage to industrial or commercial facilities, interruption of a public utility serving a large number of customers, damage to traffic on high-volume roads that meet the requirements for hazard class C dams, inundation of a frequently used recreation facility serving a relatively large number of persons, or two or more individual hazards described in hazard class B.

During the inspection, a day care facility was observed just downstream of the dam. There are many more habitable structures downstream as depicted on the inundation maps. Therefore, the existing hazard classification of the dam should remain hazard class C.

HYDOLOGY AND HYDRAULICS ANALYSIS

Hydrology

For this assessment, the hydrologic analysis was completed using PCSWMM. A detailed PCSWMM model incorporating the City's stormwater network including detention structures was available from a stormwater master plan project completed in 2014 for the City of Junction City by AmecFW. DWR requirements stipulate rainfall excess shall be determined by using the NRCS curve number method. PCSWMM uses a runoff block method which uses curve numbers (CN) to calculate infiltration. The

3

NRCS curve number method uses the CN to calculate potential maximum retention. Excess runoff is then calculated knowing the potential maximum runoff and retention.

SITES has the capability of running the NRCS curve number method to determine runoff, or the user can input inflow hydrographs. If SITES were used to calculate the runoff, a single basin model would be setup utilizing a generalized CN value for the contributing drainage area. This simple model would not account for attenuation of inflow hydrograph due to storage in the streams and floodplains as well as detention structures. The single basin model would not accurately account for timing of peak flows compared to a multi-basin dynamic model such as PCSWMM. The effects on runoff due to the City's stormwater network can also be captured in PCSWMM.

A comparative analysis was completed to determine the qualitative difference between the two modeling options, SITES versus PCSWMM. A rainfall depth for the 100-year, 24-hour storm duration event was input into both models. A generalized CN value and time of concentration were determined for the contributing watershed for input into the SITES model. The runoff volumes from both models were similar. However, the peak flow rates were significantly different. The peak flow rate from the SITES model was almost double that from the PCSWMM model. The peak flow rate has a significant impact on the resulting water surface elevation in the reservoir. In order to more accurately capture the existing conditions of the watershed, PCSWMM was used to determine the inflow hydrographs for each of the required storm events. The inflow hydrographs were then input into the SITES model for the hydraulic analysis of the dam.

Criteria Conformance Analysis

The dam was evaluated for conformance with current standards regulated by the DWR for a Hazard Class C, Size Class 2. It should be noted that for DWR criteria, the runoff curve number for the dam was increased to account for DWR's requirement to use AMC III condition based on the location of the dam. The dam was evaluated for minimum detention capacity and minimum design storm requirements. The hydraulics of the PSW and ASW were modeled using SITES (Version 2005.1.8) computer program developed by the USDA in cooperation with Kansas State University. The stage-storage table developed for the reservoir from 2010 LiDAR data and as-built data (below LiDAR data) is presented in Table 1.

4

Table 1 – Stage-Storage Table

Stage (feet)	Volume (ac-ft)
1156.45 ¹	39.5 ²
1158.451	54.02
1160	71.3
1161	76.3
1162	81.3
1163	86.5
1164	91.8
1164.6	95.5
1165	98.4
1166	105.9
1166.6	110.6
1167	113.8
1168	122.0
1169	130.6
1170	139.7
1171	149.3
1172	159.8
1173	171.2
1174	183.3

Notes: Storage volumes derived from 2010 LiDAR data except as noted.

- 1. Converted from NGVD29 to NAVD88 by adding 0.45 feet.
- 2. Denotes storage volumes taken from original as-built plans.

The precipitation data for the development of the service spillway, detention storm, and design storm hydrographs were determined based on DWR requirements for a High Hazard dam. The three storms were evaluated for 6-hour storm durations. Table 2 summarizes the precipitation data.

Table 2 – Required Precipitation Depths

DWR Service Spillway Hydrograph (5-yr, 6 hour)	3.25 inches
DWR Detention Storage Hydrograph (50-yr, 6-hour)	5.55 inches
DWR Design Storm Hydrograph (0.40 PMP, 6-hour)	10.84 inches

These rainfall depths were input into the rain gauge module and hydrographs formulated within PCSWMM. The inflow hydrograph for each of the storm events at Rimrock Dam were then used as input for the SITES analyses.

Summaries of the SITES analyses for criteria conformance and modifications to meet current criteria are included in the Appendix B.

Table 3 - Criteria Conformance Comparison

	Principal Spillway		Au	xiliary Spilly	Top of Dam		
Criteria	Existing Elevation	Required Elevation	Existing Elevation	Required Elevation	Exit Velocity (fps)	Existing TOD Elevation	Required TOD Elevation ¹
DWR Detention Storage Hydrograph	1164.6	NA	1166.5	1168.39	NA	1170.0	NA
DWR Design Storm Hydrograph	1164.6	NA	1166.5	NA	17.7	1170.0	1173.71

^{1.} Required TOD Elevation includes minimum 3-feet freeboard requirement.

This dam does not meet the DWR requirements for detention storage or the design storm hydrologic criteria. As documented in the inspection report (Appendix A), the PSW was not found. The previous report from 2014 stated the PSW conduit was "nonfunctioning." Thus, the modeling for the existing conditions in this assessment assumed no flow in the PSW.

Alternatives Analysis

The following are alternatives available to the City of Junction City, Kansas with corresponding cost estimates. All cost estimates provided in this report shall be considered as preliminary "order of magnitude" cost estimates. It is assumed that a detailed design alternatives analysis or value engineering phase will occur after an alternative is selected for final design, and a more detailed cost estimate will be completed at that time. Please refer to Appendix D for an itemized breakdown of costs.

Alternative 1 – Lower Dam to Non-Jurisdictional

Under this alternative, the top of dam elevation will be lowered to meet DWR requirements for a non-jurisdictional dam. This requires the dam height be no more than 25 feet and the storage volume be less than 50 ac-ft. In this case, the dam would need to be lowered to an elevation of approximately 1158 feet to operate at a storage volume of less than 50 ac-ft.

Several amenities could be added to the reservoir to increase the aesthetics of the park. Wetlands could be incorporated into the surrounding area, including a network of walk/bike paths and observation points. Constructed wetlands would aid in purifying water, provide habitat for many species, and still have a potential for limited flood control capacity. Long-term maintenance costs of a constructed wetland would include the removal of debris and sediment.

With a normal pool of 1158 feet and considering sediment accumulated, the maximum depth is estimated to be 8 feet. This depth may not be adequate to provide a healthy environment for aquatic life. In the shallow areas, there is potential for mosquitos to become a problem.

6

With an abundance of options for amenities that can be included in a wetland project, there are too many unknowns to determine a cost estimate. However, most likely the cost will be at least \$200,000 and increase as amenities are added.

Alternative 2 - Modify Structure to meet DWR Criteria

This alternative explores constructing improvements necessary to satisfy the requirements of DWR. Under Alternative 2, two options were studied. Alternative 2A includes constructing a new PSW and a widened ASW. Alternative 2B looks at constructing a service spillway along with a widened ASW.

When completing the analyses for these two alternatives, design criteria was used to limit the iterations. First, the normal pool of 1164.6 feet was assumed to remain the same as the existing conditions. Second, upon reviewing the 2010 LiDAR data, it was determined the dam could be raised to an elevation no higher than 1172.5 feet. Third, the ASW outlet was designed with a maximum exit velocity of 7 ft/sec. This would allow for a vegetated ASW without armoring. The service spillway inlet and outlet channels in Alternative 2B were designed as a trapezoidal channels with riprap protection across the width of the dam. A service spillway structure would be provided to convey the design flow (5-year, 6-hour duration storm event) through several conduits and provide a path over the riprap channel for continuation of the sidewalk.

Alternative 2A - New PSW and Widen ASW

- 1) Construct 9'x3' PSW riser and 36" RCP conduit
- 2) Raise ASW crest 0.7 feet to El. 1167.2 feet
- 3) Widen ASW from 32 feet to 100 feet
- 4) Raise top of dam 2.4 feet to El. 1172.4 feet

Alternative 2A Total Cost Estimate

\$ 511,000

Alternative 2B – Service Spillway and Widen ASW

- 1) Construct 10' wide armored service spillway
- 2) Raise ASW crest 0.2 feet to El. 1166.7 feet
- 3) Widen ASW from 32 feet to 100 feet
- 4) Raise top of dam 2.2 feet to El. 1172.2 feet

Alternative 2B Total Cost Estimate

\$ 298,000

Alternative 3 – Decommissioning the Dam

Under this alternative, it is recommended the dam be breached and an armored grade stabilization structure will be installed. Providing a grade stabilization structure would deter sediment in the reservoir from being transported downstream during storm events. Material removed from the dam will be wasted in the auxiliary spillway or pool area and re-vegetated. There will be no impounded water or flood protection provided by the structure. The City would lose the reservoir as an asset. Removal of a

jurisdictional dam must comply with K.S.A. 82a-301 to 328 and includes a permitting process.

Alternative 3 Total Cost Estimate

\$ 346,000

In an effort to minimize costs, the dam could be breached by removing a section of dam embankment with no additional work. Without a grade stabilization structure, there is greater potential for sediments to be transported downstream during storm events causing problems to stormwater infrastructure. Long-term maintenance costs may be incurred due to removal of sediment from culverts downstream of the dam. Flood storage capacity of the stream will decrease as sedimentation increases. Excess sediments could pose environmental concerns as well. Sediments can lead to water quality impairment in the receiving streams. Sedimentation can impact aquatic life by disrupting the food chain, water temperatures, and spawning and rearing habitat.

Recommendations

To be determined.

References

- 1. CHI, 2015, PCSWMM, Version 5.7.1870
- 2. USDA, NRCS, 2005, Water Resources Site Analysis Program, Version 2005.1.8.
- 3. USDA, NRCS, 2005, Earth Dams and Reservoirs, Technical Release 60.
- 4. USDA, NRCS, 1986, Urban Hydrology for Small Watersheds, Technical Release 55.
- 5. USDA, KS-NRCS, 2007, National Engineering Manual, Section KS520.21 Definitions and classes, Amend. KS64, Oct. 2007.
- 6. U.S. Department of Commerce, Weather Bureau, 1964, Technical Paper NO. 49
- 7. Kansas State Board of Agriculture, Division of Water Resources, 2008, K.A.R. 5-40-1 through 5-40-56.
- 8. National Weather Service, National Oceanic and Atmospheric Administration (NOAA), U.S. Department of Commerce, Hydrometeorological Report No. 51

9

Appendix A Dam Inspection Report

DRAFT

DAM INSPECTION REPORT

RIMROCK LAKE DAM JUNCTION CITY, GEARY COUNTY, KANSAS WSN: DGE-0057



Prepared for the City of Junction City, Kansas

June 2015



TABLE OF CONTENTS

Introduction	3
Background	3
Purpose	3
History	3
Previous Inspection	3
Site Inspection Summary	
Dam Embankment	
Principal Spillway	
Auxiliary Spillway	5
Hydrology and Hydraulics Review	5
Emergency Action Plan	5
Findings	6

Appendix A – Map of GPS points Appendix B – Dam Inspection Notes Appendix C – Inspection Photos

INTRODUCTION

BACKGROUND

Rimrock Lake Dam is owned and operated by the City of Junction City and is located in Section 11, Township 12 South, Range 5 East in Geary County, Kansas. Rimrock Lake Dam has 0.5 square miles of contributing drainage area along the Republican River Tributary. The dam structure is a Class C (High Hazard), size 2 structure with minimal detention storage and primarily used for recreational purposes.

PURPOSE

The purpose of this assessment is to evaluate the existing condition of the dam to satisfy the requirements of K.S.A. 82a-301 *et seq* and compare this assessment's findings and the Kansas Department of Agriculture, Division of Water Resources' (DWR) findings from their inspection report dated, November 5, 2014.

HISTORY

Rimrock Lake Dam was originally designed in 1952 by the Soil Conservation Service (SCS) for Mr. W.R. Homer for the purpose of flood control and livestock water supply. In 1967, the structure was gifted to the City of Junction City. In 1968, the crest of the dam was widened from 12 feet to an approximate average width of 70 feet. The lake was drained, sediment removed, and a new 15-inch CMP drop inlet and 12-inch CMP conduit installed in 1969. Sometime after the Black & Veatch study completed in June 1979, the upstream access road and some detention structures upstream were completed. Between January and May 1997, embankment modifications were in progress and concrete sidewalks placed across the auxiliary spillway. Between May 1997 and March 1998, the 15-inch CMP riser was replaced with a 48-inch concrete riser. Also, the auxiliary spillway was constructed with a bottom width of 32 feet.

PREVIOUS INSPECTION

The most recent inspection was completed on November 5, 2014 by DWR. It was reported that trees and brush covered the downstream slope. The primary spillway pipe was nonfunctioning. The riprap on the upstream slope was sparse. Trees and brush and erosion were noted at the outlet of the auxiliary spillway.

SITE INSPECTION SUMMARY

On May 27, 2015 Amec Foster Wheeler (AmecFW) completed an inspection of Rimrock Lake Dam. The weather was sunny and 76°F at the time of inspection. In recent days leading up to the inspection, the area had received rainfall leaving the soils damp and difficult to determine seepage or excessive wet areas along the dam embankment. The water level was estimated to be two inches below the top of riser. During the inspection, the crest, upstream slope, downstream slope, principal spillway, auxiliary spillway, and reservoir were investigated and photographs, field notes, and GPS points were collected. The findings are summarized below. A map of the GPS points can be found in Appendix A, inspection notes in their entirety can be found in Appendix B, and the photos can be found in Appendix C.

DAM EMBANKMENT

The dam embankment was inspected for visual settlement, misalignment, cracking, slides, bulges, depressions, vegetative cover, tree and brush control, erosion control, seepage, boils, animal burrows and trails, and vehicle trails. The dense trees and brush on the downstream slope of the embankment made the inspection difficult.

Dam Crest

The vegetation on the dam crest was good. Good grass cover has been established and maintained. There is one large tree on the crest.

Upstream Slope

Good grass cover has been established but there were some weeds along the shoreline of the upstream slope of the embankment. There was some woody debris near the shore. The riprap sparsely covers the upstream slope at normal pool elevation and has areas of weeds growing up through it.

Downstream Slope

Dense trees and brush cover the downstream slope making it difficult to inspect. Significant erosion has occurred on the downstream slope and at the abutments. Some animal burrows were noted but difficult to determine due to dense vegetation and erosion.

PRINCIPAL SPILLWAY

Normally, the principal spillway is inspected for corrosion, cracking, leakage, alignment, and debris accumulation. However, due to the pool elevation, only the top of riser was inspected from a short distance of the shore.

Principal Spillway Inlet

The top portion of principal spillway riser appeared to be in good condition. There is some minor spalling. The pool elevation was estimated to be 2 inches below the top of riser.

Drawdown Valve

There is no known drawdown valve for this dam.

Principal Spillway Conduit

The outlet of the principal spillway conduit was not found during the inspection. There is no access to and down the riser. Therefore, AmecFW was unable to determine the condition of the principal spillway conduit.

Principal Spillway Outlet and Stilling Basin

The principal spillway outlet was not found during the inspection. Therefore, the condition could not be determined. There is no known stilling basin at the outlet.

AUXILIARY SPILLWAY

The auxiliary spillway was checked for vegetative cover, erosion control, visual slides or slope failures, seepage, surface drainage, control of obstructions, and condition of the control section. There was a good stand of grass along the approach channel and level section of the auxiliary spillway. However, downstream of the level section, the spillway was covered with dense trees and brush. Significant erosion has occurred along the downstream portion of the auxiliary spillway.

HYDROLOGY AND HYDRAULICS REVIEW

Currently, DWR requires a dam of this size and classification should pass a flood event generated by the equivalent of 40% of the 6-hour probable maximum precipitation (PMP) with 3 feet of freeboard. Hydrologic and hydraulic analyses have been completed in 1978, 1980, and 2004 to determine if the dam is compliant with DWR requirements. All 3 of the analyses determined the dam to be inadequate.

EMERGENCY ACTION PLAN

DWR requires that a class C hazard dam have an emergency action plan (EAP) that conforms to the requirements of K.A.R. 5-40-73. In a letter addressed to the City of Junction City and dated December 5, 2014, DWR states the EAP is outdated. In the 2014 inspection report, DWR states a breach inundation map completed in 2013 was approved and is on file.

FINDINGS

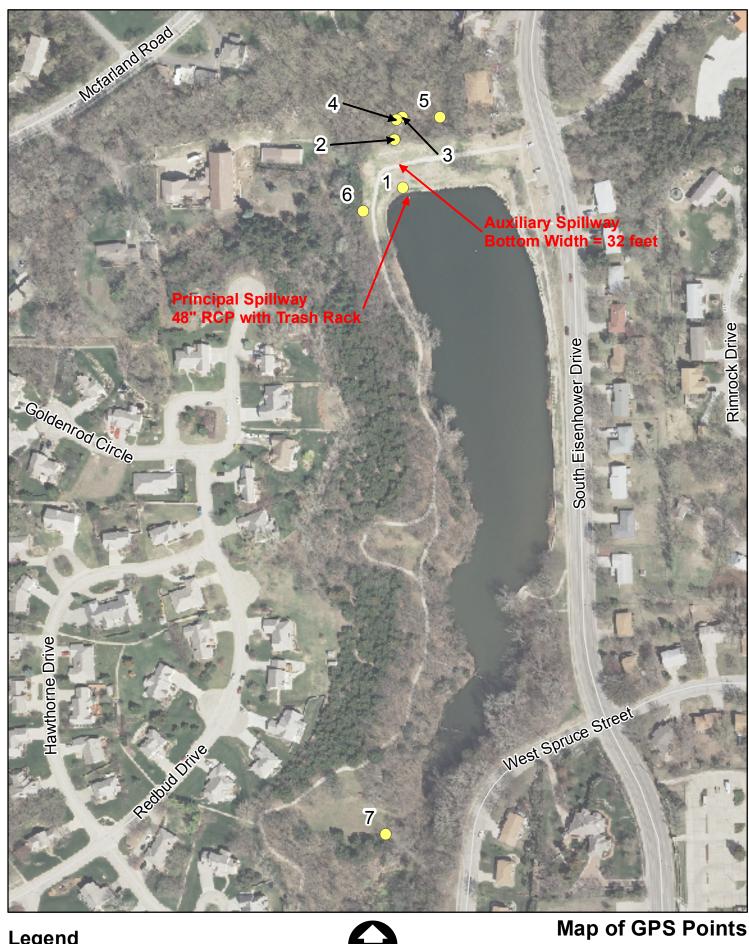
The findings of this inspection and the previous inspection of 2014 are essentially the same. The findings assume the City of Junction City desires to improve the dam enough to meet the DWR requirements.

The principal spillway is old and the outlet is proving difficult to find with the dense tree and brush cover and erosion along the downstream slope. The principal spillway outlet should be found and it is recommended the condition be determined by video inspection. Eventually, the principal spillway riser and conduit will need to be repaired or replaced.

The downstream slope of the embankment is covered with dense trees and brush. There is significant erosion of the downstream slope. This poses a concern for a potential failure of the dam embankment. The crest of the dam is fairly wide. However, embankment materials and stability are unknown. It is recommended a geotechnical analysis be completed to determine the stability of the dam embankment. Eventually, the downstream slope of the dam embankment will need to be addressed. The trees and brush need to be removed from the embankment. The downstream slope should be graded and compacted appropriately.

Regarding maintenance, the weedy vegetation should be removed from the upstream slope and additional riprap placed to maintain erosion control along the shoreline. The large tree should be removed from the crest of the dam. The grass cover along the top of dam and upstream slope should continue to be maintained. The trash rack on the principal spillway riser needs the rust removed and to be painted.

Appendix A Map of GPS Points



Legend

GPS Point



Rimrock Lake Dam Junction City,

X-1

Appendix B Dam Inspection Notes

PHYSICAL INSPECTION FOR DAM SAFETY EVALUATION

SITE: DGE-0057 - Rimrock Dam

LOCATION: Geary County, Kansas (Republican River Watershed) S,T,R: 11,12S,5E

TYPE OF STRUCTURE: EARTH EMBANKMENT

INSPECTION TEAM: Matt Long, P.E.; Ben Rufenacht, P.E.

WEATHER: sunny, 76 degrees, recent rain in the previous 2 days

CONDITION RATINGS:

0 = Adequate or None

1 = Monitor potential or minor deficiency

2 = Deficiency requires further action

3 = Deficiency requires immediate maintenance action

4 = Immediate action required; deficiency is a threat to structural integrity or public safety

N/A = Item is not applicable to this site

NR = Item was not rated per reason identified in observations

ITEM	CONDITION	Photo	GPS Point	OBSERVATIONS
I. DAM EMBANKMENT, ABUTMENTS & FOUNDATION				
1. Top or Crest		361		Photo looking west at crest from near east abutment
a. Visual settlement	0			
b. Misalignment	0			
c. Transverse cracking	0			
d. Longitudinal cracking	0			
e. Vegetative cover	2	362	11	good grass cover, large tree in crest
f. Road surface	N/A			
Upstream Slope				
a. Visual settlement	0			
b. Transverse cracking	0			
c. Longitudinal cracking	0			
d. Visual slides, bulges or depressions	0			
e. Vegetative cover	0			good grass cover down to riprap protection
f. Tree & brush control	11		<u> </u>	Some weeds along u/s slope in riprap
g. Erosion control	0			
h. Slope protection - riprap	0	363	<u> </u>	Riprap on u/s slope
i. Slope protection - vegetative	0			
j. Animal burrows or trails	0			
k. Vehicle trails	0			
Debris accumulation	1			Some wood debris along riprap

ITEM	CONDITION	Photo	GPS Point	OBSERVATIONS
3. Downstream Slope		368	6	Photo looking at d/s slope
a. Visual settlement	0			
b. Transverse cracking	0			
c. Longitudinal cracking	0			
d. Visual slides, bulges or depressions	0			
e. Vegetative cover	2	371		poor grass cover
f. Tree & brush control	3			dense trees and brush on d/s slope
g. Erosion control	3			erosion throughout d/s slope
h. Seepage control	0			did not observe seepage, soil was damp from recent rain event
i. Presence of boils or discharges	0			
j. Animal burrows or trails	1			There appears to be some burrows in d/s slope, but difficult to determine with erosion and trees/brush
k. Vehicle trails	0			
4. Abutments		373	7	west abutment
a. Erosion control	2			poor vegetative cover with erosion, dense trees and brush
b. Visual slides, bulges or depressions	0			
c. Cracking	0		†	
d. Seepage	0			no visible seepage, soil damp at time of inspection
e. Hydrophytic vegetation	0			
II. INSTRUMENTATION				
1. Benchmarks	N/A			
Settlement Plates & Monuments	N/A		T	
Observation Wells & Piezometers	N/A			
III. PRINCIPAL SPILLWAY				
Riser or Intake Structure - Concrete		364		View of PS Inlet, concrete riser with metal trash rack
a. Spalling	1			minor spalling noted at top of riser
b. Cracking	00			
c. Scaling	00			
d. Erosion	0		<u> </u>	
e. Cavitation	NR		<u> </u>	Unable to inspect inside the riser. Riser is small and conduit was not found.
f. Exposed reinforcement	NR		<u> </u>	Unable to inspect inside the riser. Riser is small and conduit was not found.
g. Joint alignment	NR		<u> </u>	Unable to inspect inside the riser. Riser is small and conduit was not found.
h. Joint material	NR			Unable to inspect inside the riser. Riser is small and conduit was not found.
i. Joint leakage	NR NR			Unable to inspect inside the riser. Riser is small and conduit was not found.
			 	<u> </u>

ITEM	CONDITION	Photo	GPS Point	OBSERVATIONS
Riser or Intake Structure - Metal				
a. Corrosion	N/A			
b. Leakage	N/A			
3. Valves & Appurtenances				
a. Valve(s) - operational condition	N/A			
b. Valve(s) - leakage	N/A			
c. Valve(s) - corrosion	N/A			
d. Drawdown conduit	N/A			
e. Ladder(s)	N/A			
f. Trash rack(s)	1			rusting of trash rack; needs paint
4. Principal Spillway Conduit - Concrete				
a. Spalling	N/A			
b. Cracking	N/A			
c. Scaling	N/A			
d. Erosion	N/A			
e. Cavitation	N/A			
f. Exposed reinforcement	N/A			
g. Joint alignment	N/A			
h. Joint material	N/A			
i. Joint leakage	N/A			
j. Conduit alignment	N/A			
k. Pipe support	N/A			
Principal Spillway Conduit - Metal				
a. Corrosion resistance	NR			Unable to find the PS conduit outlet
b. Protective coatings	NR			Unable to find the PS conduit outlet
c. Joint alignment	NR			Unable to find the PS conduit outlet
d. Joint material	NR			Unable to find the PS conduit outlet
e. Joint leakage	NR			Unable to find the PS conduit outlet
f. Conduit alignment	NR			Unable to find the PS conduit outlet
g. Pipe support	NR NR			Unable to find the PS conduit outlet

ITEM	CONDITION	Photo	GPS Point	OBSERVATIONS
Cathodic Protection System				
a. Condition of switch box & wires	N/A			
b. Continuity	N/A			
c. Pipe to soil potential (volts)	N/A			
d. Pipe to anode current (amps)	N/A			
7. Concrete Outlet Structure				
a. Spalling	N/A			
b. Cracking	N/A			
c. Scaling	N/A			
d. Erosion	N/A			
e. Cavitation	N/A			
f. Exposed reinforcement	N/A			
g. Joint alignment	N/A			
h. Joint material	N/A			
i. Joint leakage	N/A			
j. Structural condition	N/A			
k. Debris accumulation	N/A			
8. Stilling Basin				
a. Side slope stability	N/A			
b. Presence of boils	N/A			
c. Presence of seepage	N/A			
d. Condition of riprap armoring	N/A			
e. Condition of other armoring	N/A			
f. Tree & brush control	N/A			
g. Stability at intersection with embankment	N/A			
h. Toe drain	N/A			rodent guard and pipe in good condtion, perhaps slightly inverted, no flow observed
IV. OUTLET CHANNEL		366	3	Flow splits coming out of ASW
Vegetative Cover	2			no grass cover
2. Tree & Brush Control	3			trees and brush in channel
3. Erosion Control	3	367, 368, 370	4, 5	erosion and headcuts in channel, some riprap placed in channel, Photo 370 is west exit channel
Visual slides or slope failures	0			
Silt or Debris Accumulation	1			soil from u/s slope collecting in channel
Channel Capacity Trend	2			channel capacity decreasing due to trees and brush and sediment accumulation

ITEM	CONDITION	Photo	GPS Point	OBSERVATIONS
V. FOUNDATION & INTERNAL DRAINAGE SYSTEMS				
1. Condition of Outlets			T	
a. Alignment	N/A			
b. Corrosion	N/A		T	
c. Flap gates or rodent guards	N/A			
d. Debris or sediment accumulation	N/A		T	
2. Condition of Discharge	N/A			
a. Rate	N/A			
b. Appearance	N/A			
c. Evidence of piping/internal erosion	N/A			
VI. EMERGENCY OR AUXILIARY SPILLWAY				
Spillway Cut Slope(s)		372		ASW and trail
a. Vegetative cover	0			good vegetative cover along slopes of ASW
b. Erosion control	0			
c. Visual slides or slope failures	0			
d. Seepage control	0			
2. Approach Channel & Crest Section		365	2	
a. Vegetative cover	0			good vegetative cover
b. Erosion control	0			
c. Surface drainage	0			
d. Control of obstructions, trees & brush	0			
e. Condition of control section	0			
3. Outlet Channel				
a. Vegetative cover	2			poor grass cover
b. Erosion control	0			
c. Control of obstructions, trees & brush	3			dense trees and brush
d. Seepage control	0			
e. Outlet stability	3			erosion and headcutting in exit channel

ITEM	CONDITION	Photo	GPS Point	OBSERVATIONS
VII. RESERVOIR		380		Photo looking N at reservoir
Shoreline Stability	0			concrete retaining wall along east side
a. Wave erosion	0			
b. Vegetative cover	0			trees and brush along west side
Visual Slides or Slope Failures	0			
Excessive Sedimentation	0			
4. Reservoir Operation	0			
a. Excessive drawdown time	N/A			
b. Evidence of loss of detention capacity	0			
Development Below Top of Dam Elevation	2			Daycare facility near toe of d/s slope
			<u> </u>	
VIII. ASSOCIATED STRUCTURES & FACILITIES				
1. Project Access				
a. Roads & crossings	0			
b. Culverts & bridges	0			
2. Erosion & Sediment Control Structures				
a. Diversions	N/A			
b. Waterways	N/A			
c. Grade stab. Structures	N/A			
d. Underground outlets	N/A			
3. Fish & Wildlife Habitat Facilities	N/A			
4. Mitigation Areas	N/A			
5. Water Supply Systems	N/A			
6. Waste Management Facilities	N/A			
W ==NONE & ACCESS CONTROL				
IX. FENCING & ACCESS CONTROL			 	
1. Wire Fences	N/A		 	
a. Location & alignment			 	
b. Gate location	N/A		 	
c. Condition of protective coatings	N/A		 	
d. Tension	N/A		 	
2. Rock Barriers	N/A		 	
			 	
				1

ITEM	CONDITION	Photo	GPS Point	OBSERVATIONS
X. UPSTREAM AREA & DRAINAGE AREA				
Changes in Land Use				
a. Increased runoff potential	0		T	
b. Increased erosion & sedimentation potential	2	374-377		CMP at private drive crossing is corroded and water flowing under pipe, increased potential for failure
c. Potential for water quality degradation	0			
Runoff Diversion				
a. Upstream structures	0	378, 379		pipe under Bittersweet Dr., stormwater concrete outlet channel
b. Diversion out of drainage area	0			
XI. DOWNSTREAM AREA & FLOOD PLAIN				
Development Since Last Inspection			T	
a. Residential, commercial or industrial	0			
b. Utilities	0			
c. Transportation	0			
2. Channel Capacity				
a. Sediment accumulation	0			
b. Debris	0			
c. Vegetation	1			trees and brush along banks
Increased or Excessive Seepage	0			
4. Streambank Stability	1			minor erosion along banks
XII. OPERATION & MAINTENANCE				
1. Operation				
a. Alterations to site	0			
b. Recent high water marks	1			woody debris on u/s slope
2. Maintenance				
a. Existing program	0			
b. Monitoring of existing deficiencies	0			

Appendix C Inspection Photos

Photo 361



Looking west at dam crest

Photo 362



Looking northeast at large tree in dam crest

Photo 363



Looking east at shoreline and upstream slope

Photo 364



Looking south at principal spillway riser

Photo 365



Looking north at auxiliary spillway

Photo 366



Outlet channel

Photo 367



Outlet channel

Photo 368



Outlet channel and downstream slope

Photo 369



Dense brush along downstream slope

Photo 370



Downstream slope

Photo 371



Downstream slope

Photo 372



Looking west at dam crest, auxiliary spillway, and sidewalk

Photo 373



Looking north at west abutment area and auxiliary spillway in distance

Photo 374



Looking west at private drive upstream of Rimrock Lake

Photo 375



Downstream face of 24" CMP (corroded) at private drive

Photo 376



Inside 24" CMP at private drive

Photo 377



Looking south of private drive

Photo 378



Downstream face of RCP at Bittersweet Drive (upstream of private drive)

Photo 379



Concrete outlet channel sloping down from Bittersweet Drive

Photo 380



Looking north at Rimrock Lake

Photo 381



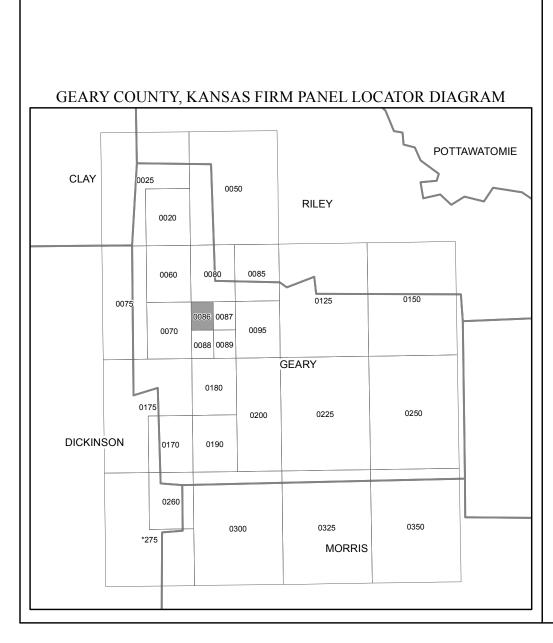
Looking north at Rimrock Lake

Appendix B Dam Breach Inundation Maps

*NOTE: Model completed using Flow 2D software. For detailed output data see model.

Habitable Structures

*NOTE: See report for list, elevation, and flood depths for habitable structures.





NOTES TO USERS

Breach flows computed using USDA-NRCS TR-60 breach equations.

Breach hydrograph computed using USDA-NRCS TR-66 decay equation.

The top of dam elevation was used to compute the peak breach

Discharge.

KDA 1m LiDAR data was used to create the model grid and to

Flow 2D was used to model the dam breach wave downstream.

plot the inundation area.

No DFIRM is available for Geary County.

The dam breach inundation area represents a rapidly developing dam failure resulting from spillway failure. In the event of an actual dam failure, conditions may vary resulting in a variation of the breach inundation area.

Elevations are NAVD 1988.

Legend

<u>+</u>

Surveyed House

× Benchmark

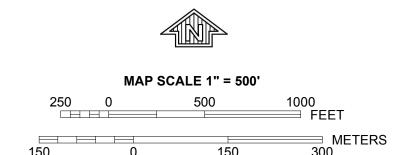


100 Year Floodplain



500 Year Floodplain

Dam Breach Inundation Area



WSN: DGE-0057 Rimrock Dam

THE PANEL LAYOUT MATCHES THE DFIRM PANEL LAYOUT.
SEE LOCATOR DIAGRAM FOR PANEL LAYOUT.

PANEL 0086D

Completed by: MWP

/P Date: 08/23/2013

Checked by: LAT

ked by: LAT Date: 08/23/2013

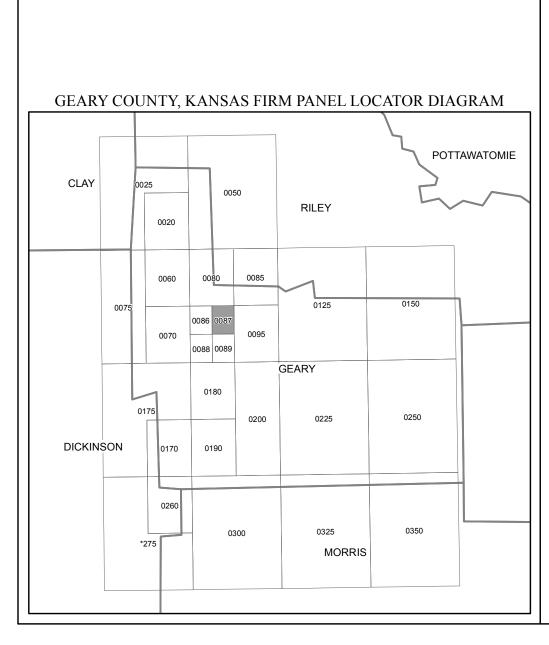
Approved by: E

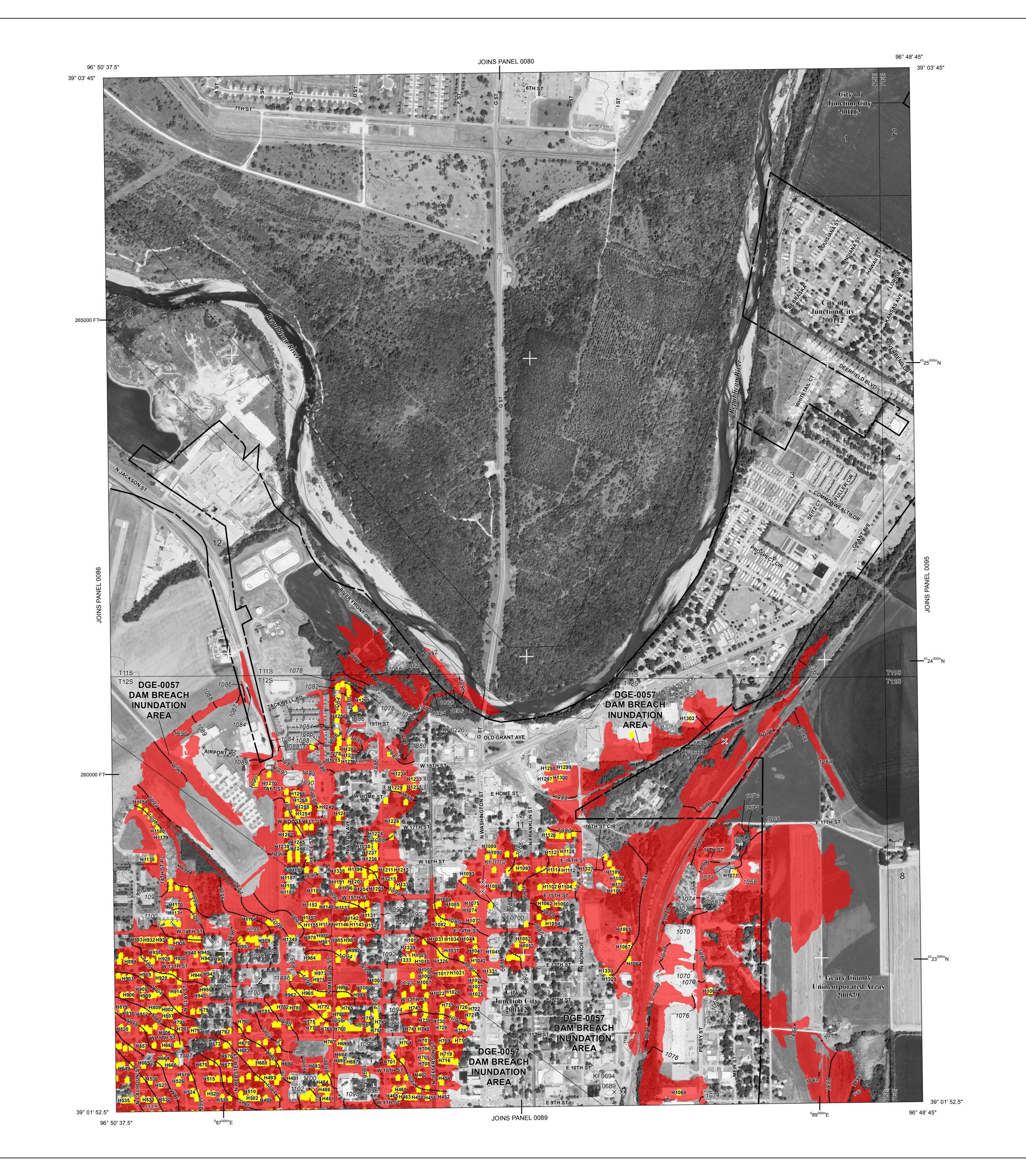


*NOTE: Model completed using Flow 2D software. For detailed output data see model.

Habitable Structures

*NOTE: See report for list, elevation, and flood depths for habitable structures.





NOTES TO USERS

Breach flows computed using USDA-NRCS TR-60 breach equations.

Breach hydrograph computed using USDA-NRCS TR-66 decay equation.

The top of dam elevation was used to compute the peak breach

Flow 2D was used to model the dam breach wave downstream.

KDA 1m LiDAR data was used to create the model grid and to plot the inundation area.

No DFIRM is available for Geary County.

The dam breach inundation area represents a rapidly developing dam failure resulting from spillway failure. In the event of an actual dam failure, conditions may vary resulting in a variation of the breach

Elevations are NAVD 1988.

Legend

Surveyed House Benchmark



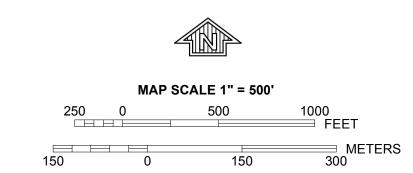
100 Year Floodplain



500 Year Floodplain



Dam Breach Inundation Area



WSN: DGE-0057 Rimrock Dam

THE PANEL LAYOUT MATCHES THE DFIRM PANEL LAYOUT.
SEE LOCATOR DIAGRAM FOR PANEL LAYOUT.

PANEL 0087D

Date: 08/23/2013

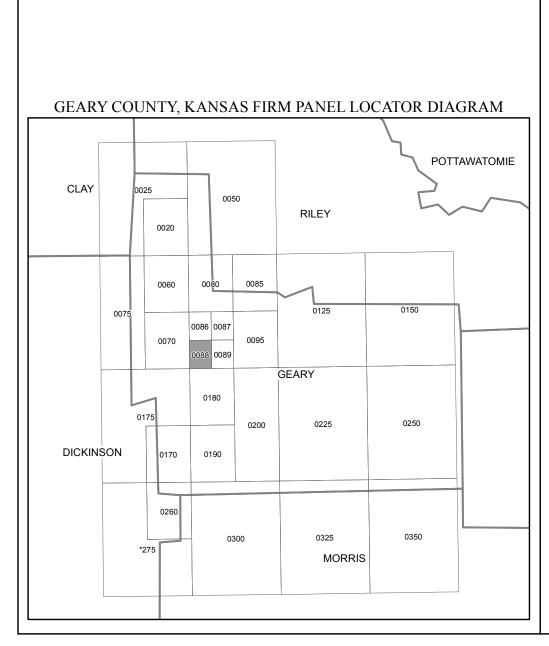
Date: 08/23/2013

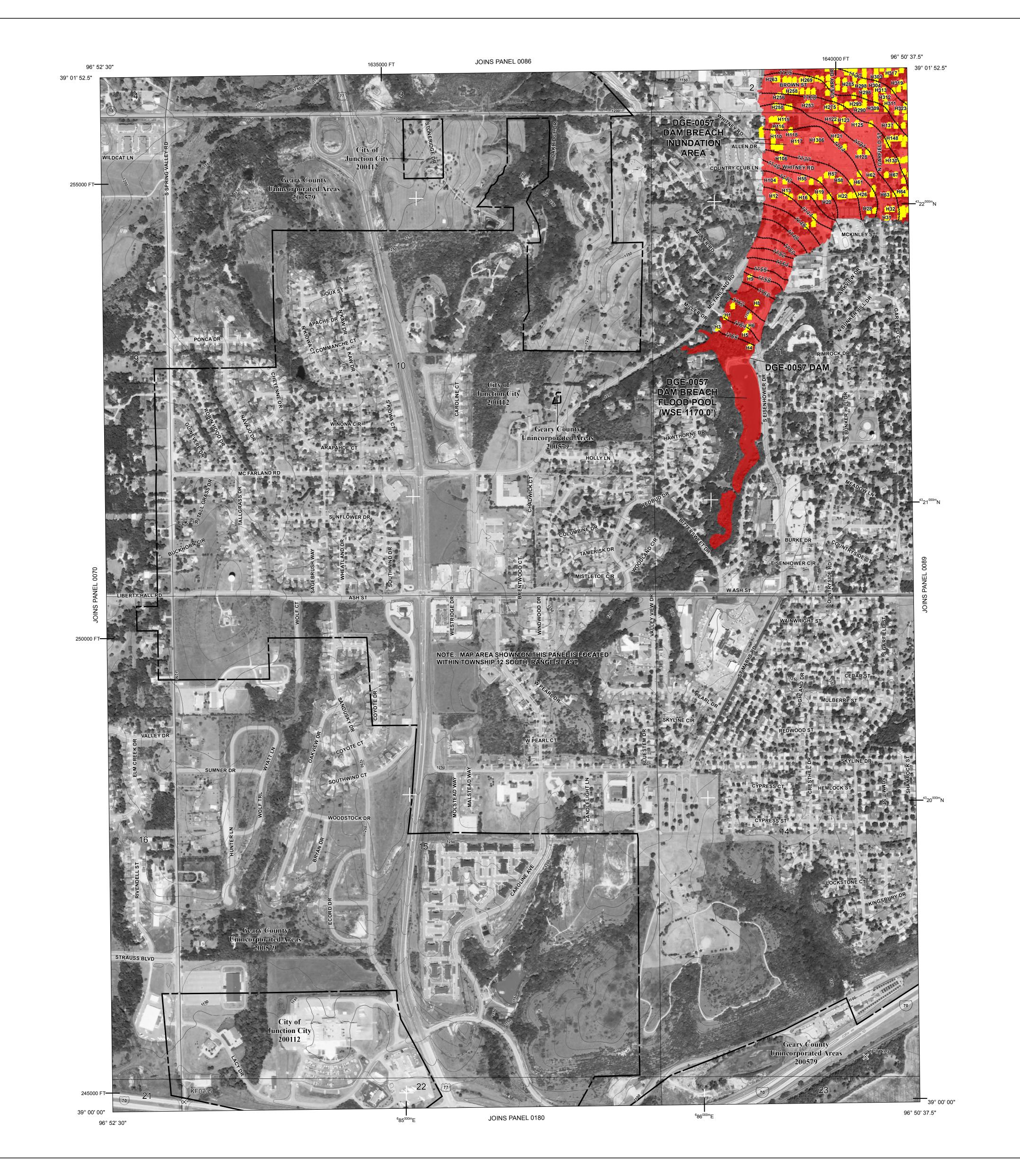


*NOTE: Model completed using Flow 2D software. For detailed output data see model.

Habitable Structures

*NOTE: See report for list, elevation, and flood depths for habitable structures.





NOTES TO USERS

Breach flows computed using USDA-NRCS TR-60 breach equations.

Breach hydrograph computed using USDA-NRCS TR-66 decay equation.

The top of dam elevation was used to compute the peak breach Discharge.

Flow 2D was used to model the dam breach wave downstream.

KDA 1m LiDAR data was used to create the model grid and to plot the inundation area.

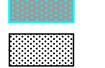
No DFIRM is available for Geary County.

The dam breach inundation area represents a rapidly developing dam failure resulting from spillway failure. In the event of an actual dam failure, conditions may vary resulting in a variation of the breach

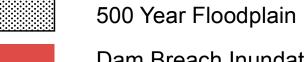
Elevations are NAVD 1988.

Legend

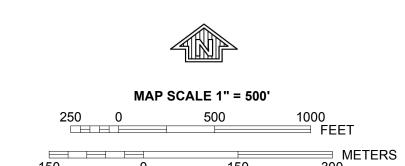
Surveyed House Benchmark



100 Year Floodplain



Dam Breach Inundation Area



WSN: DGE-0057

Rimrock Dam

THE PANEL LAYOUT MATCHES THE DFIRM PANEL LAYOUT.
SEE LOCATOR DIAGRAM FOR PANEL LAYOUT.

PANEL 0088D

Date: 08/23/2013

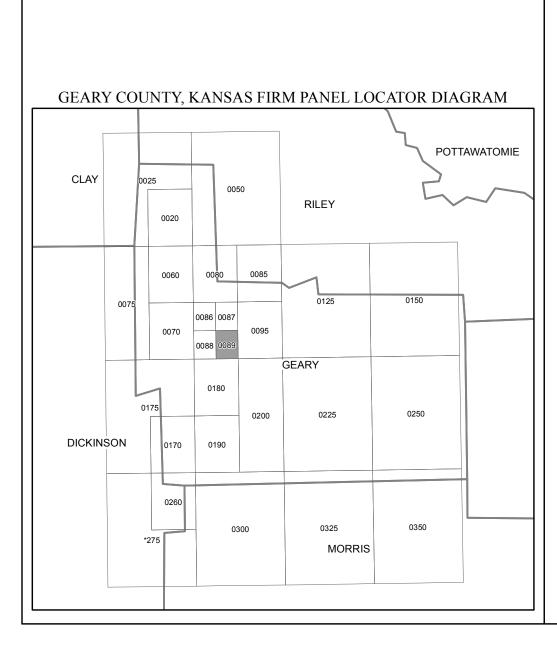
Date: 08/23/2013

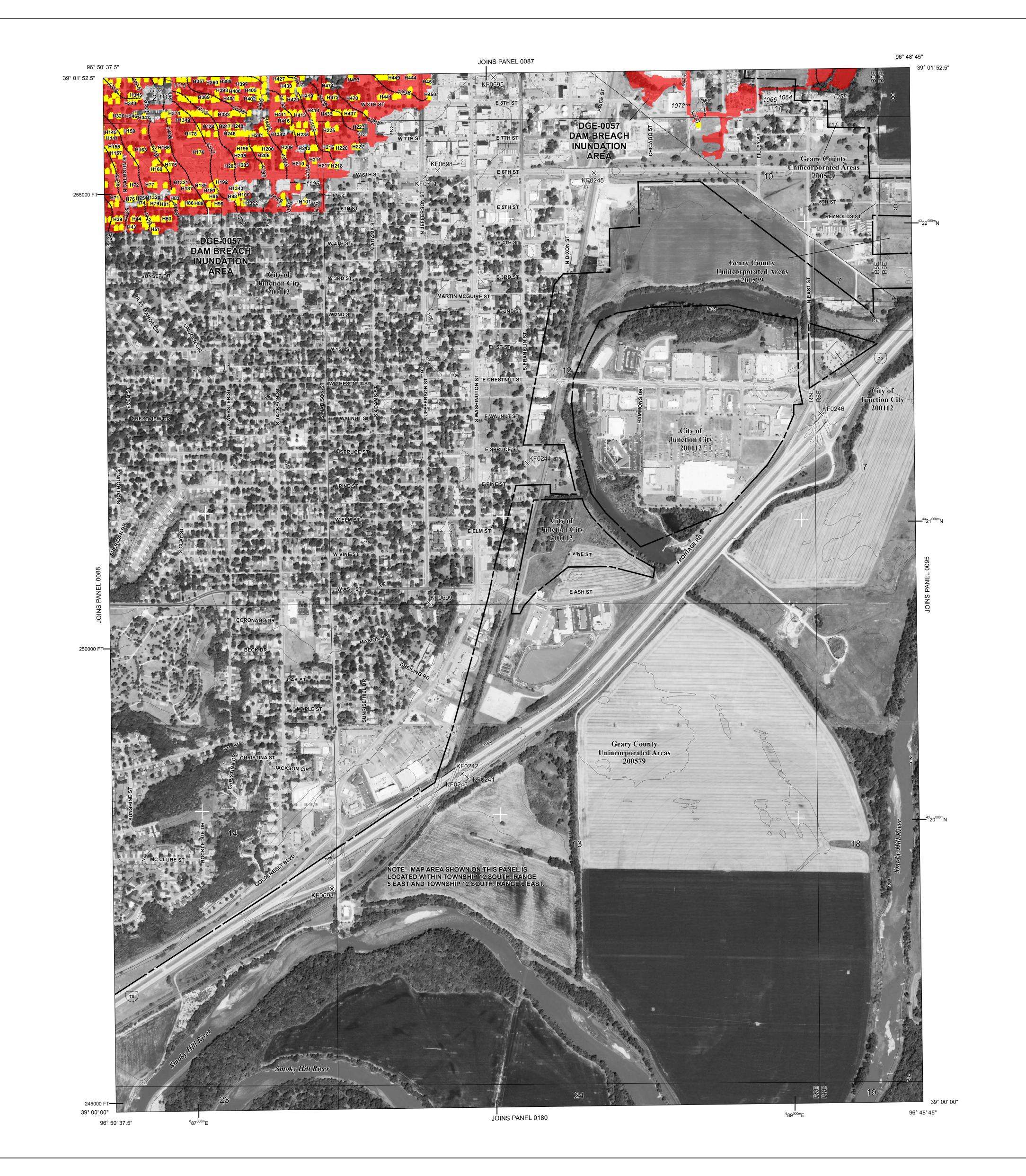


*NOTE: Model completed using Flow 2D software. For detailed output data see model.

Habitable Structures

*NOTE: See report for list, elevation, and flood depths for habitable structures.





NOTES TO USERS

Breach flows computed using USDA-NRCS TR-60 breach equations.

Breach hydrograph computed using USDA-NRCS TR-66 decay equation.

The top of dam elevation was used to compute the peak breach

Flow 2D was used to model the dam breach wave downstream.

KDA 1m LiDAR data was used to create the model grid and to plot the inundation area.

No DFIRM is available for Geary County.

The dam breach inundation area represents a rapidly developing dam failure resulting from spillway failure. In the event of an actual dam failure, conditions may vary resulting in a variation of the breach

Elevations are NAVD 1988.

Legend

Surveyed House Benchmark

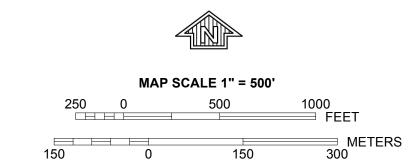


100 Year Floodplain



500 Year Floodplain

Dam Breach Inundation Area



WSN: DGE-0057 Rimrock Dam

THE PANEL LAYOUT MATCHES THE DFIRM PANEL LAYOUT.
SEE LOCATOR DIAGRAM FOR PANEL LAYOUT.

PANEL 0089D

Date: 08/23/2013



Appendix C SITES Summary

	Existir	ng Dam	Alternative 2A		Alternative 2B		
DWR Criteria Storm Event	Detention	Design	Detention	Design	Service	Design	
Recurrence Interval	50-year	0.4 PMP	50-year	0.4 PMP	5-year	0.4 PMP	
Storm Duration	6 hours	6 hours	6 hours	6 hours	6 hours	6 hours	
Model Name	Ex_P50	Ex_04PMP	Alt2A_P50	Alt2A_04PMP	Alt2B_P5	Alt2B_04PMP	
Site Identification	1	1	1	1	1	1	
Watershed Runoff Curve Number	N/A	N/A	N/A	N/A	N/A	N/A	
Total Watershed Drainage Area (Sq.Miles)	N/A	N/A	N/A	N/A	N/A	N/A	
Watershed Time of Concentration (Hours)	N/A	N/A	N/A	N/A	N/A	N/A	
SDH Rainfall Total (Inches)	N/A	N/A	N/A	N/A	N/A	N/A	
SDH Rainfall Duration (Hours)	N/A	N/A	N/A	N/A	N/A	N/A	
FBH or Storm Rainfall Total (Inches)	N/A	N/A	N/A	N/A	N/A	N/A	
FBH or Storm Rainfall Duration (Hours)	N/A	N/A	N/A	N/A	N/A	N/A	
SDH Inflow Peak (CFS)	N/A	N/A	N/A	N/A	N/A	N/A	
FBH or Storm Inflow Peak (CFS)	N/A	N/A	N/A	N/A	N/A	N/A	
Initial Reservoir Elevation (Feet)	1164.6	1164.6	1164.6	1164.6	1164.6	1164.6	
Maximum WS SDH (Feet)	N/A	N/A	N/A	N/A	N/A	N/A	
Maximum WS FBH or Storm (Feet)	1168.39	1170.71	1167.17	1169.43	1166.66	1169.24	
Storage at Max. WS FBH or Storm (Acre-Ft)	125.4	146.8	115.2	134.6	111.1	132.9	
Top Dam (Feet)	N/A	N/A	N/A	N/A	N/A	N/A	
Storage, Top Dam (Acre-Ft)	N/A	N/A	N/A	N/A	N/A	N/A	
Emb. Yardage (CY)	N/A	N/A	N/A	N/A	N/A	N/A	
PSH Drawdown (Days)	N/A	N/A	N/A	N/A	N/A	N/A	
378 Drawdown (Days)	N/A	N/A	N/A	N/A	N/A	N/A	
PS Crest (Feet)	1160	1160	1164.6	1164.6	1160	1160	
PS Number of Conduits	N/A	N/A	1	1	N/A	N/A	
PS Conduit Diameter (Inches)	N/A	N/A	36	36	N/A	N/A	
PS Conduit Height (Feet)	N/A	N/A	N/A	N/A	N/A	N/A	
PS Conduit Width (Feet)	N/A	N/A	N/A	N/A	N/A	N/A	
PS Conduit Area (Sq. Feet)	N/A	N/A	7.07	7.07	N/A	N/A	
Storage, PS Crest (Acre-Ft)	71	71	96	96	71	71	
PS Discharge at AS Crest (CFS)	0	0	171.2	170.2	N/A	0	
PS Discharge for SDH (CFS)	N/A	N/A	N/A	N/A	N/A	N/A	
PS Discharge FBH or Storm (CFS)	0	0	170.1	177.3	0	0	
AS Crest (Feet)	1166.5	1166.5	1167.5	1167.2	1164.6	1166.7	
Storage, AS Crest (Acre-Ft)	109.8	109.8	117.9	115.4	95.5	111.4	
AS Width (Feet)	32	32	200	100	10	100	
AS Exit Slope (%)	10	10	2	2	2	2	
AS Ret. Curve Index	5.6	5.6	0.04	0.04	0.04	0.04	
AS Veg. Cover Factor	0.5	0.5	0.5	0.5	0.5	0.5	
AS Maintenance Code	2	2	2	2	2	2	
AS Max. Head SDH (Feet)	N/A	N/A	N/A	N/A	N/A	N/A	
AS Peak Discharge SDH/Storm (CFS)	203.9	974.4	N/A	832.8	104.2	1057.7	
AS Exit Velocity SDH or Storm (Ft/S)	8.62	17.7	N/A	6.12	5.38	6.7	
AS Stress SDH or Storm (Lb./Sq.Ft.)	0.63	2.23	N/A	0.249	0.26	0.287	
Hp FBH or Storm (Feet)	1.89	4.21	N/A	2.23	2.06	2.54	
AS Peak Discharge FBH/Storm (CFS)	204	974	N/A	833	104	1058	
AS Integ. Dist. FBH or Storm (Feet)	N/A	9/4 N/A	N/A N/A	N/A	N/A	N/A	
Oe/B FBH or Storm (Acre-Ft/Ft)	3.7	8.8	N/A N/A	1.2	5.7	2.8	
Uncontrolled Drainage Area (Sq.Miles)				+		·	
	N/A 0	N/A 0	N/A 0	N/A 0	N/A 0	N/A 0	
Number of Errors							

Appendix D

Cost Estimates

Alternative 2A

New PSW and Widen ASW

Item	Quantity	Unit	Unit Price	Extension
Mobilization (5.5%)	1	L.S.	\$16,000	\$16,000
Auxiliary Spillway Excavation	2,215	cu yd	\$5	\$12,000
Embankment Earthfill	2,000	cu yd	\$20	\$40,000
Replace PSW Riser	1	L.S.	\$30,000	\$30,000
Remove and Replace PSW	5,000	cu yd	\$20	\$100,000
36" RCP PSW Pipe	160	L.F.	\$360	\$58,000
36" PSW Pipe Support	1	L.S.	\$12,000	\$12,000
Filter Diaphragm	1	L.S.	\$10,000	\$10,000
Stilling Basin	1	L.S.	\$15,000	\$15,000
Seeding	2	acre	\$1,500	\$3,000
			·	\$296,000
Contingency (20%)				\$60,000
Engineering & Design				\$45,000
Geotechnical Analysis				\$50,000
Construction Management (15%)				\$45,000
Project Administration (5%)			_	\$15,000
			•	\$511,000

Note: The cost estimate presented above is to be considered a preliminary "order of magnitude" cost estimate for concept-level planning.

Alternative 2B

Service Spillway and Widen ASW

Item	Quantity	Unit	Unit Price	Extension
Mobilization (5.5%)	1	L.S.	\$8,000	\$8,000
Auxiliary Spillway Excavation	2,515	cu yd	\$5	\$13,000
Embankment Earthfill	1,835	cu yd	\$20	\$37,000
Plug Existing PSW	1	L.S.	\$20,000	\$20,000
Service Spillway Structure	1	L.S.	\$50,000	\$50,000
Rock Riprap	215	ton	\$60	\$13,000
Seeding	2	acre	\$1,500	\$3,000
			=	\$144,000
Contingency (20%)				\$29,000
Engineering & Design				\$45,000
Geotechnical Analysis				\$50,000
Construction Management (15%)				\$22,000
Project Administration (5%)			_	\$8,000
			=	\$298,000

Note: The cost estimate presented above is to be considered a preliminary "order of magnitude" cost estimate for concept-level planning.

Alt 3 Decommission

Service Spillway and Widen ASW

Item	Quantity	Unit	Unit Price	Extension
Mobilization (5.5%)	1	L.S.	\$12,000	\$12,000
Embankment Removal	19,225	cu yd	\$5	\$97,000
Sediment Removal	2,000	cu yd	\$20	\$40,000
Drop Structure	100	L.F.	\$600	\$60,000
Seeding (Special)	6	acre	\$1,500	\$9,000
			=	\$218,000
Contingency (20%)				\$44,000
Engineering & Design				\$25,000
Geotechnical Analysis				\$15,000
Construction Management (15%)				\$33,000
Project Administration (5%)			_	\$11,000
			=	\$346,000

Note: The cost estimate presented above is to be considered a preliminary "order of magnitude" cost estimate for concept-level planning.

Backup material for agenda item:

b. Consideration of 2015 Bulletproof Vest Partnership grant award.

City of Junction City

City Commission

Agenda Memo

September 15, 2015

From: Tim Brown, Chief of Police
To: Allen Dinkel, City Manager

Subject: 2015 Bulletproof Vest Partnership Grant

Objective: The Police Department seeks approval to accept a grant award from the 2015 Bulletproof Vest Partnership Grant (BVP) through the U.S. Department of Justice - Office of Justice Programs - Bureau of Justice Assistance in the amount of \$5,184.75.

Explanation of Issue: The Junction City Police Department is mandated by Agreement with the Junction City Police Officers Association to replace officer body armor every five years. The department needs to replace 12 bulletproof vests in the fiscal year covered by the grant. Total cost of the body armor is estimated at \$10,620. On April 22, 2015, the Police Department submitted application for 50% funding for 12 bulletproof vests in the amount of \$5,310.

On September 3, 2015, the Junction City Police Department was awarded \$5,184.75 from the Bureau of Justice Assistance.

Budget Impact: The grant requires 50% in matching funds. The 50% match is budgeted in the General Fund in the Police Department's uniform account number 01 5-23-00-0682.

Alternatives: The Commission may approve or deny the award.

Special Considerations: There are no special considerations.

Recommendation: Staff recommends a motion to accept the award from the 2015 Bulletproof Vest Partnership.

Backup material for agenda item:

c. Consideration of 2015 Edward Byrne Memorial Justice Assistance Grant Award.

City of Junction City

City Commission

Agenda Memo

September 15, 2015

From:

Tim Brown, Chief of Police

To:

Allen Dinkel, City Manager

Subject:

2015 Edward Byrne Memorial Justice Assistance Grant (JAG)

Objective: The Police Department seeks approval to accept a grant award from the 2015 Edward Byrne Memorial Justice Assistance Grant (JAG) through the U.S. Department of Justice - Office of Justice Programs - Bureau of Justice Assistance in the amount of \$15,531.00.

Explanation of Issue: The Police Department was eligible to apply for grant funding through the 2015 Edward Byrne Memorial Justice Assistance Grant (JAG). The amount of the award is \$15,531.00. This award is made to both the Junction City Police Department and Geary County Sheriffs Office as disparate jurisdictions. Both entities have agreed upon using the total award amount of \$15,531.00 to purchase a Crisis Response Video Throw Phone System. Application was made on July 8, 2015 for the total award amount of \$15,531.00.

Budget Impact: The grant requires no matching funds and, therefore, has no budgetary impact.

Alternatives: The Commission may approve or deny the award.

Special Considerations: There are no special considerations.

Recommendation: Staff recommends a motion to accept the award from the 2015 Justice Assistance Grant.



Department of Justice

Office of Justice Programs

Bureau of Justice Assistance

Office of Justice Programs

Washington, D.C. 20531

August 24, 2015

Mr. Allen Dinkel Junction City 700 North Jefferson Junction City, KS 66441-2666

Dear Mr. Dinkel:

On behalf of Attorney General Loretta Lynch, it is my pleasure to inform you that the Office of Justice Programs has approved your application for funding under the FY 15 Edward Byrne Memorial Justice Assistance Grant (JAG) Program - Local Solicitation in the amount of \$15,531 for Junction City.

Enclosed you will find the Grant Award and Special Conditions documents. This award is subject to all administrative and financial requirements, including the timely submission of all financial and programmatic reports, resolution of all interim audit findings, and the maintenance of a minimum level of cash-on-hand. Should you not adhere to these requirements, you will be in violation of the terms of this agreement and the award will be subject to termination for cause or other administrative action as appropriate.

If you have questions regarding this award, please contact:

- Program Questions, Melanie Davis, Program Manager at (202) 305-7944; and
- Financial Questions, the Office of the Chief Financial Officer, Customer Service Center (CSC) at (800) 458-0786, or you may contact the CSC at ask.ocfo@usdoj.gov.

Congratulations, and we look forward to working with you.

Sincerely,

Dona & Other te

Denise O'Donnell Director

Enclosures



OFFICE FOR CIVIL RIGHTS

Office of Justice Programs Department of Justice 810 7th Street, NW Washington, DC 20531

Tel: (202) 307-0690 TTY: (202) 307-2027 E-mail: askOCR@usdoj.gov Website: www.ojp.usdoj.gov/ocr

August 24, 2015

Mr. Allen Dinkel Junction City 700 North Jefferson Junction City, KS 66441-2666

Dear Mr. Dinkel:

Congratulations on your recent award. In establishing financial assistance programs, Congress linked the receipt of federal funding to compliance with federal civil rights laws. The Office for Civil Rights (OCR), Office of Justice Programs (OJP), U.S. Department of Justice (DOJ) is responsible for ensuring that recipients of financial assistance from the OJP, the Office of Community Oriented Policing Services (COPS), and the Office on Violence Against Women (OVW) comply with the applicable federal civil rights laws. We at the OCR are available to help you and your organization meet the civil rights requirements that come with DOJ funding.

Ensuring Access to Federally Assisted Programs

Federal laws that apply to recipients of financial assistance from the DOJ prohibit discrimination on the basis of race, color, national origin, religion, sex, or disability in funded programs or activities, not only in employment but also in the delivery of services or benefits. A federal law also prohibits recipients from discriminating on the basis of age in the delivery of services or benefits.

In March of 2013, President Obama signed the Violence Against Women Reauthorization Act of 2013. The statute amends the Violence Against Women Act of 1994 (VAWA) by including a nondiscrimination grant condition that prohibits discrimination based on actual or perceived race, color, national origin, religion, sex, disability, sexual orientation, or gender identity. The new nondiscrimination grant condition applies to certain programs funded after October 1, 2013. The OCR and the OVW have developed answers to some frequently asked questions about this provision to assist recipients of VAWA funds to understand their obligations. The Frequently Asked Questions are available at http://ojp.gov/about/ocr/vawafaqs.htm.

Enforcing Civil Rights Laws

All recipients of federal financial assistance, regardless of the particular funding source, the amount of the grant award, or the number of employees in the workforce, are subject to prohibitions against unlawful discrimination. Accordingly, the OCR investigates recipients that are the subject of discrimination complaints from both individuals and groups. In addition, based on regulatory criteria, the OCR selects a number of recipients each year for compliance reviews, audits that require recipients to submit data showing that they are providing services equitably to all segments of their service population and that their employment practices meet equal opportunity standards.

Providing Services to Limited English Proficiency (LEP) Individuals

In accordance with DOJ guidance pertaining to Title VI of the Civil Rights Act of 1964, 42 U.S.C. § 2000d, recipients of federal financial assistance must take reasonable steps to provide meaningful access to their programs and activities for persons with limited English proficiency (LEP). See U.S. Department of Justice, Guidance to Federal Financial Assistance Recipients Regarding Title VI Prohibition Against National Origin Discrimination Affecting Limited English Proficient Persons, 67 Fed. Reg. 41,455 (2002). For more information on the civil rights responsibilities that recipients have in providing language services to LEP individuals, please see the website http://www.lep.gov.

Ensuring Equal Treatment for Faith-Based Organizations

The DOJ regulation, Equal Treatment for Faith-Based Organizations, 28 C.F.R. pt. 38, requires State Administering Agencies (SAAs) to treat faith-based organizations the same as any other applicant or recipient. The regulation prohibits SAAs from making awards or grant administration decisions on the basis of an organization's religious character or affiliation, religious name, or the religious composition of its board of directors.

The regulation also prohibits faith-based organizations from using financial assistance from the DOJ to fund inherently (or explicitly) religious activities. While faith-based organizations can engage in non-funded inherently religious activities, they must hold them separately from the program funded by the DOJ, and recipients cannot compel beneficiaries to participate in them. The Equal Treatment Regulation also makes clear that organizations participating in programs funded by the DOJ are not permitted to discriminate in the provision of services on the basis of a beneficiary's religion. For more information on the regulation, please see the OCR's website at http://www.ojp.usdoj.gov/about/ocr/equal fbo.htm.

SAAs and faith-based organizations should also note that the Omnibus Crime Control and Safe Streets Act (Safe Streets Act) of 1968, as amended, 42 U.S.C. § 3789d(c); the Victims of Crime Act of 1984, as amended, 42 U.S.C. § 10604(e); the Juvenile Justice and Delinquency Prevention Act of 1974, as amended, 42 U.S.C. § 5672(b); and VAWA, Pub. L. No. 113-4, sec. 3(b)(4), 127 Stat. 54, 61-62 (to be codified at 42 U.S.C. § 13925(b)(13)) contain prohibitions against discrimination on the basis of religion in employment. Despite these nondiscrimination provisions, the DOJ has concluded that it may construe the Religious Freedom Restoration Act (RFRA) on a case-by-case basis to permit some faith-based organizations to receive DOJ funds while taking into account religion when hiring staff, even if the statute that authorizes the funding program generally forbids recipients from considering religion in employment decisions. Please consult with the OCR if you have any questions about the regulation or the application of RFRA to the statutes that prohibit discrimination in employment.

Using Arrest and Conviction Records in Making Employment Decisions

The OCR issued an advisory document for recipients on the proper use of arrest and conviction records in making hiring decisions. See Advisory for Recipients of Financial Assistance from the U.S. Department of Justice on the U.S. Equal Employment Opportunity Commission's Enforcement Guidance; Consideration of Arrest and Conviction Records in Employment Decisions Under Title VII of the Civil Rights Act of 1964 (June 2013), available at http://www.ojp.usdoj.gov//about/ocr/pdfs/UseofConviction_Advisory.pdf. Recipients should be mindful that the misuse of arrest or conviction records to screen either applicants for employment or employees for retention or promotion may have a disparate impact based on race or national origin, resulting in unlawful employment discrimination. In light of the Advisory, recipients should consult local counsel in reviewing their employment practices. If warranted, recipients should also incorporate an analysis of the use of arrest and conviction records in their Equal Employment Opportunity Plans (EEOPs) (see below).

Complying with the Safe Streets Act

An organization that is a recipient of financial assistance subject to the nondiscrimination provisions of the Safe Streets Act, must meet two obligations: (1) complying with the federal regulation pertaining to the development of an EEOP (see 28 C.F.R. pt. 42, subpt. E) and (2) submitting to the OCR findings of discrimination (see 28 C.F.R. §§ 42.204(c), .205(c)(5)).

Meeting the EEOP Requirement

If your organization has less than fifty employees or receives an award of less than \$25,000 or is a nonprofit organization, a medical institution, an educational institution, or an Indian tribe, then it is exempt from the EEOP requirement. To claim the exemption, your organization must complete and submit Section A of the Certification Form, which is available online at http://www.ojp.usdoj.gov/about/ocr/pdfs/cert.pdf.

If your organization is a government agency or private business and receives an award of \$25,000 or more, but less than \$500,000, and has fifty or more employees (counting both full- and part-time employees but excluding political appointees), then it has to prepare a Utilization Report (formerly called an EEOP Short Form), but it does not have to submit the report to the OCR for review. Instead, your organization has to maintain the Utilization Report on file and make it available for review on request. In addition, your organization has to complete Section B of the Certification Form and return it to the OCR. The Certification Form is available at http://www.ojp.usdoj.gov/about/ocr/pdfs/cert.pdf.

If your organization is a government agency or private business and has received an award for \$500,000 or more and has fifty or more employees (counting both full- and part-time employees but excluding political appointees), then it has to prepare a Utilization Report (formerly called an EEOP Short Form) and submit it to the OCR for review within sixty days from the date of this letter. For assistance in developing a Utilization Report, please consult the OCR's website at http://www.ojp.usdoj.gov/about/ocr/eeop.htm. In addition, your organization has to complete Section C of the Certification Form and return it to the OCR. The Certification Form is available at http://www.ojp.usdoj.gov/about/ocr/pdfs/cert.pdf.

To comply with the EEOP requirements, you may request technical assistance from an EEOP specialist at the OCR by telephone at (202) 307-0690, by TTY at (202) 307-2027, or by e-mail at EEOsubmisson@usdoj.gov.

Meeting the Requirement to Submit Findings of Discrimination

If in the three years prior to the date of the grant award, your organization has received an adverse finding of discrimination based on race, color, national origin, religion, or sex, after a due-process hearing, from a state or federal court or from a state or federal administrative agency, your organization must send a copy of the finding to the OCR.

Ensuring the Compliance of Subrecipients

SAAs must have standard assurances to notify subrecipients of their civil rights obligations, written procedures to address discrimination complaints filed against subrecipients, methods to monitor subrecipients' compliance with civil rights requirements, and a program to train subrecipients on applicable civil rights laws. In addition, SAAs must submit to the OCR every three years written Methods of Administration (MOA) that summarize the policies and procedures that they have implemented to ensure the civil rights compliance of subrecipients. For more information on the MOA requirement, see http://www.ojp.usdoj.gov/funding/other_requirements.htm.

If the OCR can assist you in any way in fulfilling your organization's civil rights responsibilities as a recipient of federal financial assistance, please contact us.

Sincerely,

Michael L. Alston

Director

ce: Grant Manager Financial Analyst

Mund 2. alspen

	Department of Justice Office of Justice Programs Bureau of Justice Assistance	Grant	PAGE 1 OF 9			
	E AND ADDRESS (Including Zip Code)	4. AWARD NUMBER: 2015-DJ-BX-0435				
Junction City 700 North Jefferso Junction City, KS						
		6. AWARD DATE 08/24/2015	7. ACTION			
2a. GRANTEE IRS/V 486019171	ENDOR NO.	8. SUPPLEMENT NUMBER 00	Initial			
25. GRANTEE DUNS 198633596	NO.	9. PREVIOUS AWARD AMOUNT	\$0			
3. PROJECT TITLE FY 15 JAG Progra	m	10. AMOUNT OF THIS AWARD	\$ 15,531			
11100110314		11. TOTAL AWARD	\$ 15,531			
	IED PAGE(S). ITHORITY FOR GRANT corted under FY 15(BJA - JAG) 42 USC 3750, et seq.					
	OMESTIC FEDERAL ASSISTANCE (CFDA Number					
16.738 - EDWARI) BYRNE MEMORIAL JUSTICE ASSISTANCE GR	ANT PROGRAM				
15, METHOD OF PA	/MENT					
	AGENCY APPROVAL	GRANTEE ACCEP				
Denise O'Donnell Director	ND TITLE OF APPROVING OPFICIAL	18. TYPED NAME AND TITLE OF AUTHORE Allen Dinkel City Manager	ZED GRANTEE OFFICIAL			
17. SIGNATURE OF	APPROVING OFFICIAL	19. SIGNATURE OF AUTHORIZED RECIPIENT OFFICIAL 19A. DATE 08-31- 2.15				
	AGEN	NCY USE ONLY				
FISCAL FUND	LASSIFICATION CODES BUD, DIV. ACT. OFC. REG, SUB, POMS AMOUN	21. PDJUGT0388				
X B I	DJ 80 00 00 15531					

OJP FORM 4000/2 (REV. 5-87) PREVIOUS EDITIONS ARE OBSOLETE.

OJP FORM 4000/2 (REV. 4-88)



AWARD CONTINUATION SHEET

Grant

PAGE 2 OF 9

PROJECT NUMBER

2015-DJ-BX-0435

AWARD DATE

08/24/2015

SPECIAL CONDITIONS

1. Applicability of Part 200 Uniform Requirements

The Uniform Administrative Requirements, Cost Principles, and Audit Requirements in 2 C.F.R. Part 200, as adopted and supplemented by the Department of Justice (DOJ) in 2 C.F.R. Part 2800 (the "Part 200 Uniform Requirements") apply to this 2015 award from the Office of Justice Programs (OJP). For this 2015 award, the Part 200 Uniform Requirements, which were first adopted by DOJ on December 26, 2014, supersede, among other things, the provisions of 28 C.F.R. Parts 66 and 70, as well as those of 2 C.F.R. Parts 215, 220, 225, and 230.

If this 2015 award supplements funds previously awarded by OJP under the same award number, the Part 200 Uniform Requirements apply with respect to all award funds (whether derived from the initial award or a supplemental award) that are obligated on or after the acceptance date of this 2015 award.

Potential availability of grace period for procurement standards: Under the Part 200 Uniform Requirements, a timelimited grace period may be available under certain circumstances to allow for transition from policies and procedures that complied with previous standards for procurements under federal awards to policies and procedures that comply with the new standards (that is, to those at 2 C.F.R. 200.317 through 200.326).

For more information on the Part 200 Uniform Requirements, including information regarding the potentially-available grace period described above, see the Office of Justice Programs (OJP) website at http://ojp.gov/funding/Part200UniformRequirements.htm.

In the event that an award-related question arises from documents or other materials prepared or distributed by OJP that may appear to conflict with, or differ in some way from, the provisions of the Part 200 Uniform Requirements, the recipient is to contact OJP promptly for clarification.

- The recipient agrees to comply with the Department of Justice Grants Financial Guide as posted on the OJP website (currently, the "2015 DOJ Grants Financial Guide").
- 3. The recipient acknowledges that failure to submit an acceptable Equal Employment Opportunity Plan (if recipient is required to submit one pursuant to 28 C.F.R. Section 42.302) that is approved by the Office for Civil Rights is a violation of the Standard Assurances executed by the recipient, and may result in suspension of funding until such time as the recipient is in compliance, or termination of the award.
- 4. The recipient understands and agrees that OJP may withhold award funds, or may impose other related requirements, if the recipient does not satisfactorily and promptly address outstanding issues from audits required by the Part 200 Uniform Requirements (or by the terms of this award), or other outstanding issues that arise in connection with audits, investigations, or reviews of DOJ awards.
- Recipient understands and agrees that it cannot use any federal funds, either directly or indirectly, in support of the enactment, repeal, modification or adoption of any law, regulation or policy, at any level of government, without the express prior written approval of OJP.
- 6. The recipient and any subrecipients must promptly refer to the DOJ OIG any credible evidence that a principal, employee, agent, subrecipient, contractor, subcontractor, or other person has (1) submitted a claim for award funds that violates the False Claims Act; or (2) committed a criminal or civil violation of laws pertaining to fraud, conflict of interest, bribery, gratuity, or similar misconduct involving award funds. Potential fraud, waste, abuse, or misconduct should be reported to the OIG by mail: Office of the Inspector General U.S. Department of Justice Investigations Division 950 Pennsylvania Avenue, N.W. Room 4706 Washington, DC 20530 e-mail: oig.hotline@usdoj.gov hotline: (contact information in English and Spanish): (800) 869-4499 or hotline fax: (202) 616-9881 Additional information is available from the DOJ OIG website at www.usdoj.gov/oig



AWARD CONTINUATION SHEET

Grant

PAGE 3 OF 9

PROJECT NUMBER

2015-DJ-BX-0435

AWARD DATE

08/24/2015

SPECIAL CONDITIONS

7. Restrictions and certifications regarding non-disclosure agreements and related matters

No recipient or subrecipient under this award, or entity that receives a contract or subcontract with any funds under this award, may require any employee or contractor to sign an internal confidentiality agreement or statement that prohibits or otherwise restricts, or purports to prohibit or restrict, the reporting (in accordance with law) of waste, fraud, or abuse to an investigative or law enforcement representative of a federal department or agency authorized to receive such information.

The foregoing is not intended, and shall not be understood by the agency making this award, to contravene requirements applicable to Standard Form 312 (which relates to classified information), Form 4414 (which relates to sensitive compartmented information), or any other form issued by a federal department or agency governing the nondisclosure of classified information.

- 1. In accepting this award, the recipient --
- a. represents that it neither requires nor has required internal confidentiality agreements or statements from employees or contractors that currently prohibit or otherwise currently restrict (or purport to prohibit or restrict) employees or contractors from reporting waste, fraud, or abuse as described above; and
- b. certifies that, if it learns or is notified that it is or has been requiring its employees or contractors to execute agreements or statements that prohibit or otherwise restrict (or purport to prohibit or restrict), reporting of waste, fraud, or abuse as described above, it will immediately stop any further obligations of award funds, will provide prompt written notification to the agency making this award, and will resume (or permit resumption of)such obligations only if expressly authorized to do so by that agency.
- 2. If the recipient does or is authorized to make subawards or contracts under this award --
- a, it represents that --
- (1) it has determined that no other entity that the recipient's application proposes may or will receive award funds (whether through a subaward, contract, or subcontract) either requires or has required internal confidentiality agreements or statements from employees or contractors that currently prohibit or otherwise currently restrict (or purport to prohibit or restrict) employees or contractors from reporting waste, fraud, or abuse as described above; and
- (2) it has made appropriate inquiry, or otherwise has an adequate factual basis, to support this representation; and
- b. it certifies that, if it learns or is notified that any subrecipient, contractor, or subcontractor entity that receives funds under this award is or has been requiring its employees or contractors to execute agreements or statements that prohibit or otherwise restrict (or purport to prohibit or restrict), reporting of waste, fraud, or abuse as described above, it will immediately stop any further obligations of award funds to or by that entity, will provide prompt written notification to the agency making this award, and will resume (or permit resumption of) such obligations only if expressly authorized to do so by that agency.
- 8. Recipient understands and agrees that it cannot use any federal funds, either directly or indirectly, in support of any contract or subaward to either the Association of Community Organizations for Reform Now (ACORN) or its subsidiaries, without the express prior written approval of OJP.
- 9. The recipient agrees to comply with any additional requirements that may be imposed during the grant performance period if the agency determines that the recipient is a high-risk grantee. Cf. 28 C.F.R. parts 66, 70.



AWARD CONTINUATION SHEET

Grant

PAGE 4 OF 9

PROJECT NUMBER

2015-DJ-BX-0435

AWARD DATE

08/24/2015

- 10. The recipient agrees to comply with applicable requirements regarding registration with the System for Award Management (SAM) (or with a successor government-wide system officially designated by OMB and OJP). The recipient also agrees to comply with applicable restrictions on subawards to first-tier subrecipients that do not acquire and provide a Data Universal Numbering System (DUNS) number. The details of recipient obligations are posted on the Office of Justice Programs web site at http://www.ojp.gov/funding/sam.htm (Award condition: Registration with the System for Award Management and Universal Identifier Requirements), and are incorporated by reference here. This special condition does not apply to an award to an individual who received the award as a natural person (i.e., unrelated to any business or non-profit organization that he or she may own or operate in his or her name).
- 11. Pursuant to Executive Order 13513, "Federal Leadership on Reducing Text Messaging While Driving," 74 Fed. Reg. 51225 (October 1, 2009), the Department encourages recipients and sub recipients to adopt and enforce policies banning employees from text messaging while driving any vehicle during the course of performing work funded by this grant, and to establish workplace safety policies and conduct education, awareness, and other outreach to decrease crashes caused by distracted drivers.
- 12. The recipient agrees to comply with all applicable laws, regulations, policies, and guidance (including specific cost limits, prior approval and reporting requirements, where applicable) governing the use of federal funds for expenses related to conferences, meetings, trainings, and other events, including the provision of food and/or beverages at such events, and costs of attendance at such events. Information on rules applicable to this award appears in the DOJ Grants Financial Guide (currently, as section 3.10 of "Postaward Requirements" in the "2015 DOJ Grants Financial Guide").
- 13. The recipient understands and agrees that any training or training materials developed or delivered with funding provided under this award must adhere to the OJP Training Guiding Principles for Grantees and Subgrantees, available at http://www.ojp.usdoj.gov/funding/ojptrainingguidingprinciples.htm.
- 14. The recipient agrees that if it currently has an open award of federal funds or if it receives an award of federal funds other than this OJP award, and those award funds have been, are being, or are to be used, in whole or in part, for one or more of the identical cost items for which funds are being provided under this OJP award, the recipient will promptly notify, in writing, the grant manager for this OJP award, and, if so requested by OJP, seek a budget-modification or change-of-project-scope grant adjustment notice (GAN) to eliminate any inappropriate duplication of funding.
- 15. The recipient understands and agrees that award funds may not be used to discriminate against or denigrate the religious or moral beliefs of students who participate in programs for which financial assistance is provided from those funds, or of the parents or legal guardians of such students.
- 16. The recipient understands and agrees that (a) No award funds may be used to maintain or establish a computer network unless such network blocks the viewing, downloading, and exchanging of pornography, and (b) Nothing in subsection (a) limits the use of funds necessary for any Federal, State, tribal, or local law enforcement agency or any other entity carrying out criminal investigations, prosecution, or adjudication activities.
- 17. A recipient that is eligible under the Part 200 Uniform Requirements to use the "de minimis" indirect cost rate described in 2 C.F.R. 200.414(f), and that elects to use the "de minimis" indirect cost rate, must advise OJP in writing of both its eligibility and its election, and must comply with all associated requirements in the Part 200 Uniform Requirements. The "de minimis" rate may be applied only to modified total direct costs (MTDC).
- 18. The recipient must collect, maintain, and provide to OJP, data that measure the performance and effectiveness of activities under this award, in the manner, and within the timeframes, specified in the program solicitation, or as otherwise specified by OJP. Data collection supports compliance with the Government Performance and Results Act (GPRA) and the GPRA Modernization Act, and other applicable laws.



AWARD CONTINUATION SHEET

Grant

PAGE 5 OF 9

PROJECT NUMBER

2015-DJ-BX-0435

AWARD DATE

08/24/2015

- 19. The recipient agrees to comply with OJP grant monitoring guidelines, protocols, and procedures, and to cooperate with BJA and OCFO on all grant monitoring requests, including requests related to desk reviews, enhanced programmatic desk reviews, and/or site visits. The recipient agrees to provide to BJA and OCFO all documentation necessary to complete monitoring tasks, including documentation related to any subawards made under this award. Further, the recipient agrees to abide by reasonable deadlines set by BJA and OCFO for providing the requested documents. Failure to cooperate with BJA's/OCFO's grant monitoring activities may result in sanctions affecting the recipient's DOJ awards, including, but not limited to: withholdings and/or other restrictions on the recipient's access to grant funds; referral to the Office of the Inspector General for audit review; designation of the recipient as a DOJ High Risk grantee; or termination of an award(s).
- 20. The recipient understands and agrees that it has a responsibility to monitor its subrecipients' compliance with applicable federal civil rights laws. The recipient agrees to submit written Methods of Administration (MOA) for ensuring subrecipients' compliance to the OJP's Office for Civil Rights at CivilRightsMOA@usdoj.gov within 90 days of receiving the grant award, and to make supporting documentation available for review upon request by OJP or any other authorized persons. The required elements of the MOA are set forth at http://www.ojp.usdoj.gov/funding/other_requirements.htm, under the heading, "Civil Rights Compliance Specific to State Administering Agencies."
- 21. In order to promote information sharing and enable interoperability among disparate systems across the justice and public safety community, OJP requires the grantee to comply with DOJ's Global Justice Information Sharing Initiative (DOJ's Global) guidelines and recommendations for this particular grant. Grantee shall conform to the Global Standards Package (GSP) and all constituent elements, where applicable, as described at: http://www.it.ojp.gov/gsp_grantcondition. Grantee shall document planned approaches to information sharing and describe compliance to the GSP and appropriate privacy policy that protects shared information, or provide detailed justification for why an alternative approach is recommended.
- 22. To avoid duplicating existing networks or IT systems in any initiatives funded by BJA for law enforcement information sharing systems which involve interstate connectivity between jurisdictions, such systems shall employ, to the extent possible, existing networks as the communication backbone to achieve interstate connectivity, unless the grantee can demonstrate to the satisfaction of BJA that this requirement would not be cost effective or would impair the functionality of an existing or proposed IT system.
- 23. The recipient agrees that any information technology system funded or supported by OJP funds will comply with 28 C.F.R. Part 23, Criminal Intelligence Systems Operating Policies, if OJP determines this regulation to be applicable. Should OJP determine 28 C.F.R. Part 23 to be applicable, OJP may, at its discretion, perform audits of the system, as per the regulation. Should any violation of 28 C.F.R. Part 23 occur, the recipient may be fined as per 42 U.S.C. 3789g(c)-(d). Recipient may not satisfy such a fine with federal funds.
- 24. The grantee agrees to comply with the applicable requirements of 28 C.F.R. Part 38, the Department of Justice regulation governing "Equal Treatment for Faith Based Organizations" (the "Equal Treatment Regulation"). The Equal Treatment Regulation provides in part that Department of Justice grant awards of direct funding may not be used to fund any inherently religious activities, such as worship, religious instruction, or proselytization. Recipients of direct grants may still engage in inherently religious activities, but such activities must be separate in time or place from the Department of Justice funded program, and participation in such activities by individuals receiving services from the grantee or a sub-grantee must be voluntary. The Equal Treatment Regulation also makes clear that organizations participating in programs directly funded by the Department of Justice are not permitted to discriminate in the provision of services on the basis of a boneficiary's religion. Notwithstanding any other special condition of this award, faith-based organizations may, in some circumstances, consider religion as a basis for employment. See http://www.ojp.gov/about/ocr/equal_fbo.htm.



AWARD CONTINUATION SHEET

Grant

PAGE 6 OF 9

PROJECT NUMBER

2015-DJ-BX-0435

AWARD DATE

08/24/2015

- 25. Grantee agrees to comply with the requirements of 28 C.F.R. Part 46 and all Office of Justice Programs policies and procedures regarding the protection of human research subjects, including obtainment of Institutional Review Board approval, if appropriate, and subject informed consent.
- 26. Grantee agrees to comply with all confidentiality requirements of 42 U.S.C. section 3789g and 28 C.F.R. Part 22 that are applicable to collection, use, and revelation of data or information. Grantee further agrees, as a condition of grant approval, to submit a Privacy Certificate that is in accord with requirements of 28 C.F.R. Part 22 and, in particular, section 22.23.
- 27. Award recipients must verify Point of Contact(POC), Financial Point of Contact (FPOC), and Authorized Representative contact information in GMS, including telephone number and e-mail address. If any information is incorrect or has changed, a Grant Adjustment Notice (GAN) must be submitted via the Grants Management System (GMS) to document changes.
- 28. The grantee agrees that within 120 days of award acceptance, each current member of a law enforcement task force funded with these funds who is a task force commander, agency executive, task force officer, or other task force member of equivalent rank, will complete required online (internet-based) task force training. Additionally, all future task force members are required to complete this training once during the life of this award, or once every four years if multiple awards include this requirement. The training is provided free of charge online through BJA's Center for Task Force Integrity and Leadership (www.ctfli.org). This training addresses task force effectiveness as well as other key issues including privacy and civil liberties/rights, task force performance measurement, personnel selection, and task force oversight and accountability. When BJA funding supports a task force, a task force personnel roster should be compiled and maintained, along with course completion certificates, by the grant recipient. Additional information is available regarding this required training and access methods via BJA's web site and the Center for Task Force Integrity and Leadership (www.ctfli.org).
- 29. The recipient agrees to participate in BJA-sponsored training events, technical assistance events, or conferences held by BJA or its designees, upon BJA's request.
- 30. Approval of this award does not indicate approval of any consultant rate in excess of \$650 per day. A detailed justification must be submitted to and approved by the Office of Justice Programs (OJP) program office prior to obligation or expenditure of such funds.
- Program income (as defined in the Part 200 Uniform Requirements) must be used in accordance with the provisions of the Part 200 Uniform Requirements. Program income earnings and expenditures both must be reported on the quarterly Federal Financial Report, SF 425.
- 32. Award recipients must submit quarterly a Federal Financial Report (SF-425) and annual performance reports through GMS (https://grants.ojp.usdoj.gov). Consistent with the Department's responsibilities under the Government Performance and Results Act (GPRA), P.L. 103-62, applicants who receive funding under this solicitation must provide data that measure the results of their work. Therefore, quarterly performance metrics reports must be submitted through BJA's Performance Measurement Tool (PMT) website (www.bjaperformancetools.org). For more detailed information on reporting and other JAG requirements, refer to the JAG reporting requirements webpage. Failure to submit required JAG reports by established deadlines may result in the freezing of grant funds and future High Risk designation.
- 33. The recipient agrees that funds received under this award will not be used to supplant State or local funds, but will be used to increase the amounts of such funds that would, in the absence of Federal funds, be made available for law enforcement activities.



AWARD CONTINUATION SHEET

Grant

PAGE 7 OF 9

PROJECT NUMBER

2015-DJ-BX-0435

AWARD DATE

08/24/2015

- 34. The recipient agrees to monitor subawards under this JAG award in accordance with all applicable statutes, regulations, OMB circulars, and guidelines, including the OJP Financial Guide, and to include the applicable conditions of this award in any subaward. The recipient is responsible for oversight of subrecipient spending and monitoring of specific outcomes and benefits attributable to use of JAG funds by subrecipients. The recipient agrees to submit, upon request, documentation of its policies and procedures for monitoring of subawards under this award.
- 35. The recipient agrees to submit a signed certification that that all law enforcement agencies receiving vests purchased with JAG funds have a written "mandatory wear" policy in effect. Fiscal agents and state agencies must keep signed certifications on file for any subrecipients planning to utilize JAG funds for ballistic-resistant and stab-resistant body armor purchases. This policy must be in place for at least all uniformed officers before any JAG funding can be used by the agency for body armor. There are no requirements regarding the nature of the policy other than it being a mandatory wear policy for all uniformed officers while on duty.
- 36. Ballistic-resistant and stab-resistant body armor purchased with JAG funds may be purchased at any threat level, make or model, from any distributor or manufacturer, as long as the vests have been tested and found to comply with applicable National Institute of Justice ballistic or stab standards and are listed on the NIJ Compliant Body Armor Model List (http://nij.gov). In addition, ballistic-resistant and stab-resistant body armor purchased must be American-made. The latest NIJ standard information can be found here: http://www.nij.gov/topics/technology/body-armor/safety-initiative.htm.
- 37. JAG funds may be used to purchase vests for an agency, but they may not be used as the 50% match for purposes of the Bulletproof Vest Partnership (BVP) program.
- 38. The recipient is required to establish a trust fund account. (The trust fund may or may not be an interest-bearing account.) The fund, including any interest, may not be used to pay debts or expenses incurred by other activities beyond the scope of the Edward Byrne Memorial Justice Assistance Grant Program (JAG). The recipient also agrees to obligate the grant funds in the trust fund (including any interest earned) during the period of the grant and expend within 90 days thereafter. Any unobligated or unexpended funds, including interest earned, must be returned to the Office of Justice Programs at the time of closeout.



AWARD CONTINUATION SHEET

Grant

PAGE 8 OF 9

PROJECT NUMBER

2015-DJ-BX-0435

AWARD DATE

08/24/2015

SPECIAL CONDITIONS

39. The grantee agrees to assist BJA in complying with the National Environmental Policy Act (NEPA), the National Historic Preservation Act, and other related federal environmental impact analyses requirements in the use of these grant funds, either directly by the grantee or by a subgrantee. Accordingly, the grantee agrees to first determine if any of the following activities will be funded by the grant, prior to obligating funds for any of these purposes. If it is determined that any of the following activities will be funded by the grant, the grantee agrees to contact BJA.

The grantee understands that this special condition applies to its following new activities whether or not they are being specifically funded with these grant funds. That is, as long as the activity is being conducted by the grantee, a subgrantee, or any third party and the activity needs to be undertaken in order to use these grant funds, this special condition must first be met. The activities covered by this special condition are:

- a. New construction:
- b. Minor renovation or remodeling of a property located in an environmentally or historically sensitive area, including properties located within a 100-year flood plain, a wetland, or habitat for endangered species, or a property listed on or eligible for listing on the National Register of Historic Places;
- c. A renovation, lease, or any proposed use of a building or facility that will either (a) result in a change in its basic prior use or (b) significantly change its size;
- d. Implementation of a new program involving the use of chemicals other than chemicals that are (a) purchased as an incidental component of a funded activity and (b) traditionally used, for example, in office, household, recreational, or education environments; and
- e. Implementation of a program relating to clandestine methamphetamine laboratory operations, including the identification, seizure, or closure of clandestine methamphetamine laboratories.

The grantee understands and agrees that complying with NEPA may require the preparation of an Environmental Assessment and/or an Environmental Impact Statement, as directed by BJA. The grantee further understands and agrees to the requirements for implementation of a Mitigation Plan, as detailed at http://www.ojp.usdoj.gov/BJA/resource/nepa.html, for programs relating to methamphetamine laboratory operations,

Application of This Special Condition to Grantee's Existing Programs or Activities: For any of the grantee's or its subgrantees' existing programs or activities that will be funded by these grant funds, the grantee, upon specific request from BJA, agrees to cooperate with BJA in any preparation by BJA of a national or program environmental assessment of that funded program or activity.

- 40. BJA strongly encourages the recipient to submit annual (or more frequent) JAG success stories. To submit a success story, sign in to your My BJA account at https://www.bja.gov/Login.aspx to access the Success Story Submission form. If you do not yet have a My BJA account, please register at https://www.bja.gov/profile.aspx. Once you register, one of the available areas on your My BJA page will be "My Success Stories". Within this box, you will see an option to add a Success Story. Once reviewed and approved by BJA, all success stories will appear on the new BJA Success Story web page at https://www.bja.gov/SuccessStoryList.aspx.
- 41. Recipient understands and agrees that award funds may not be used for items that are listed on the Prohibited Expenditure List at the time of purchase or acquisition, including as the list may be amended from time to time. The Prohibited Expenditure list may be accessed here; https://www.bja.gov/funding/JAGControlledPurchaseList.pdf.
- 42. Recipient understands and agrees that award funds may not be used for items that are listed on the Controlled Expenditure List at the time of purchase or acquisition, including as the list may be amended from time to time, without explicit written prior approval from BJA. The Controlled Expenditure List, and instructions on how to request approval for purchase or acquisitions may be accessed here: https://www.bja.gov/funding/JAGControlledPurchaseList.pdf



AWARD CONTINUATION SHEET

Grant

PAGE 9 OF 9

PROJECT NUMBER

2015-DJ-BX-0435

AWARD DATE

08/24/2015

SPECIAL CONDITIONS

- 43. Recipient understands and agrees that the purchase or acquisition of any item on the Controlled Expenditure List at the time of purchase or acquisition, including as the list may be amended from time to time, with award funds by an agency will trigger a requirement that the agency collect and retain (for at least 3 years) certain information about the use of 1) any federally-acquired Controlled Equipment in the agency's inventory, and 2) any other controlled equipment in the same category as the federally-acquired controlled equipment in the agency's inventory, regardless of source; and make that information available to BJA upon request. Details about what information must be collected and retained may be accessed here: https://www.whitehouse.gov/sites/default/files/docs/le_equipment wg_final_report_final.pdf
- 44. Recipient understands and agrees that, notwithstanding 2 CFR § 200.313, no equipment listed on the Controlled Expenditure List that is purchased under this award may be transferred or sold to a third party, except as described below:
 - a. Agencies may transfer or sell any controlled equipment, except riot helmets and riot shields, to a Law Enforcement Agency (LEA) after obtaining prior written approval from BJA. As a condition of that approval, the acquiring LEA will be required to submit information and certifications to BJA as if it was requesting approval to use award fund for the initial purchase of items on the Controlled Expenditure List.
 - b. Agencies may not transfer or sell any riot helmets or riot shields purchased under this award.
 - c. Agencies may not transfer or sell any Controlled Equipment purchased under this award to non-LEAs, with the exception of fixed wing aircraft, rotary wing aircraft, and command and control vehicles. Before any such transfer or sale is finalized, the agency must obtain prior written approval from BJA. All law enforcement-related and other sensitive or potentially dangerous components, and all law enforcement insignias and identifying markings must be removed prior to transfer or sale.

Recipient further understands and agrees to notify BJA prior to the disposal of any items on the Controlled Expenditure List purchased under this award, and to abide by any applicable laws and regulations in such disposal.

- 45. Recipient understands and agrees that failure to comply with conditions related to Prohibited or Controlled Expenditures may result in a prohibition from further Controlled Expenditure approval under this or other federal awards.
- 46. Recipient understands that the initial period of availability of funds for this award is two years. Recipient further understands that any requests for additional time for performance of this award, up to two additional years, will be granted automatically, pursuant to 42 U.S.C. § 3751(f) and in accordance with current fiscal year solicitation. Requests for additional time beyond a four year grant period will be subject to the discretion of the Director of the Bureau of Justice Assistance.



Department of Justice

Office of Justice Programs

Bureau of Justice Assistance

Washington, D.C. 20531

Memorandum To: Official Grant File

From:

Orbin Terry, NEPA Coordinator

Subject:

Incorporates NEPA Compliance in Further Developmental Stages for Junction City

The Edward Byrne Memorial Justice Assistance Grant Program (JAG) allows states and local governments to support a broad range of activities to prevent and control crime and to improve the criminal justice system, some of which could have environmental impacts. All recipients of JAG funding must assist BJA in complying with NEPA and other related federal environmental impact analyses requirements in the use of grant funds, whether the funds are used directly by the grantee or by a subgrantee or third party. Accordingly, prior to obligating funds for any of the specified activities, the grantee must first determine if any of the specified activities will be funded by the grant.

The specified activities requiring environmental analysis are:

- a. New construction;
- b. Any renovation or remodeling of a property located in an environmentally or historically sensitive area, including properties located within a 100-year flood plain, a wetland, or habitat for endangered species, or a property listed on or eligible for listing on the National Register of Historic Places;
- c. A renovation, lease, or any proposed use of a building or facility that will either (a) result in a change in its basic prior use or (b) significantly change its size;
- d. Implementation of a new program involving the use of chemicals other than chemicals that are (a) purchased as an incidental component of a funded activity and (b) traditionally used, for example, in office, household, recreational, or education environments; and
- e. Implementation of a program relating to clandestine methamphetamine laboratory operations, including the identification, seizure, or closure of clandestine methamphetamine laboratories.

Complying with NEPA may require the preparation of an Environmental Assessment and/or an Environmental Impact Statement, as directed by BJA. Further, for programs relating to methamphetamine laboratory operations, the preparation of a detailed Mitigation Plan will be required. For more information about Mitigation Plan requirements, please see http://www.ojp.usdoj.gov/BJA/resource/nepa.html.

Please be sure to carefully review the grant conditions on your award document, as it may contain more specific information about environmental compliance.



GRANT MANAGER'S MEMORANDUM, PT. I: PROJECT SUMMARY

Grant

100 100 100 100 100 100 100 100 100 100	PROJECT NUMBER			
	2015-DJ-BX-0435	PAGE 1 OF 1		
This project is supported under FY15(BJA - JAG) 42 USC 3750, et seq.	 -			
1. STAFF CONTACT (Name & telephone number)	2. PROJECT DIRECTOR (Name	, address & telephone number)		
Melanie Davis (202) 305-7944	Timothy Brown Chief of Police 210 East 9th Street Junction City, KS 66441-2666 (785) 762-5912 ext.3603			
3a. TITLE OF THE PROGRAM		3b. POMS CODE (SEE INSTRUCTIONS		
BJA FY 15 Edward Byrne Memorial Justice Assistance Grant (JAG) Progr	ram - Local Solicitation	ON REVERSE)		
4. TITLE OF PROJECT				
FY 15 JAG Program				
5. NAME & ADDRESS OF GRANTEE	6. NAME & ADRESS OF SUBG	RANTEE		
Junction City				
700 North Jefferson Junction City, KS 66441-2666				
7. PROGRAM PERIOD	8. BUDGET PERIOD			
FROM: 10/01/2014 TO: 09/30/2016	FROM: 10/01/2014	TO: 09/30/2016		
9. AMOUNT OF AWARD	10. DATE OF AWARD			
\$ 15,531	08/24/2015			
11. SECOND YEAR'S BUDGET	12 SECOND VE AND DUDGET	LIFOYDUM		
II. BECOND LEAKS BODGET	12. SECOND YEAR'S BUDGET	AMOUNT		
13, THIRD YEAR'S BUDGET PERIOD	14. THIRD YEAR'S BUDGET A	MOUNT		

15. SUMMARY DESCRIPTION OF PROJECT (See instruction on reverse)

The Edward Byrne Memorial Justice Assistance Grant Program (JAG) allows states and units of local government, including tribes, to support a broad range of activities to prevent and control crime based on their own state and local needs and conditions. Grant funds can be used for state and local initiatives, technical assistance, training, personnel, equipment, supplies, contractual support, and information systems for criminal justice, including for any one or more of the following program areas: 1) law enforcement programs; 2) prosecution and court programs; 3) prevention and education programs; 4) corrections and community corrections programs; 5) drug treatment and enforcement programs; 6) planning, evaluation, and technology improvement programs; and 7) crime victim and witness programs (other than compensation).

The disparate jurisdictions will utilize the JAG award to purchase a Crisis Response Video Throw Phone System. The project goal is to enhance response capabilities for emergency or crisis incidents involving hostage-taker, suicidal, or other barricaded persons. The Video Throw Phone telephone handset provides a

OJP FORM 4000/2 (REV. 4-88)

	ne of communication be deo intelligence from w	etween law enforcement personne ithin the crisis environment.	el and the subject(s) in crisis.	The hidden cameras and mic	crophone provide real-time
NCA/NCF					
					;

Backup material for agenda item:

d. Consideration of Case No. SUP-08-02-15, request of Dr. Theresa McCreath seeking a Special Use Permit to allow the establishment of a small animal veterinary clinic on property zoned "CN" Neighborhood Commercial, at the northwest corner of Spring Valley Road and Strauss Boulevard.



JUNCTION CITY/MILFORD/GEARY COUNTY METROPOLITAN PLANNING COMMISSION BOARD OF ZONING APPEALS



STAFF REPORT

August 13, 2015

TO: Metropolitan Planning Commission / Board of Zoning Appeals

FM: David L. Yearout, AICP, CFM, Director of Planning and Zoning

SUBJECT: SUP-08-02-15 – Consideration of a request for a Special Use Permit to

allow establishment of a small animal veterinary clinic on property zoned "CN" Neighborhood Commercial at the northwest corner of Strauss

Boulevard and Spring Valley Road, Junction City, Kansas.

This is the request of Kaw Valley Engineering, agent; for Ronald D. Strauss, owner, and Dr. Theresa McCreath, contract buyer, requesting a Special Use Permit to allow construction of a veterinary clinic on property zoned "CN" Neighborhood Commercial District located at the northwest corner of Strauss Boulevard and South Spring Valley Road, Junction City, Kansas.

Dr. McCreath has contracted to purchase this property, conditioned upon zoning authorization to construct a small animal veterinary clinic. This lot is included in the Rivendell Addition, which was approved and recorded in the fall of 2006. The lot is approximately 1.46 acres in size. The site plan for this proposal shows a building just under 3, 000 square feet in size. Access is proposed from Spring Valley Road with all the parking on the east side of the building, between the building and Spring Valley Road.

According to discussions with Dr. McCreath, the business will be for small animals only. There will be some kenneling provided. Discussions regarding the potential location of any "outdoor" runs for the kenneling need to be shown on the site. The important issue is that the operation will not accommodate large animals, which would change the character of the proposed building and ancillary facilities to keep large animals.

An issue that needs to be addressed within this case is the fact this property is zoned "CN" Neighborhood Commercial, which allows a range of commercial uses "by right." These are:

B. Permitted Uses.

- 1. Alteration, tailoring and repair of garments, hats and shoes.
- 2. Apparel stores.
- 3. Banks and financial institutions.
- 4. Barber shops and beauty parlors.
- 5. Books, stationery and periodicals (no adult bookstores).
- 6. Business and professional offices.

- 7. Child care center and preschool.
- 9. Drug stores.
- 10. Dry cleaning and laundry receiving stations where no processing or cleaning of clothing is done on the premises.
- 11. Florist shops and gift shops.
- 12. Food stores, including grocery stores, meat markets, dairy stores, candy stores, bakeries and delicatessens.
- 13. Hardware stores and hobby shops.
- 14. Medical and dental clinics.
- 15. Restaurants, not drive-in type.
- 16. Self-service laundries and dry-cleaning stores.
- 17. Touch/therapeutic massage.
- 18. Variety stores.

C. Conditional Uses.

- Automobile service stations and tire, battery and automobile accessory stores, provided that the design of the entrance and exit drives to such uses will not create hazards for vehicular or pedestrian traffic or congestion in adjacent streets and that no body work or structural repairs shall be permitted.
- 2. Bus stations.
- 3. Package liquor store.
- 4. Telephone exchanges and telephone transmission equipment structures.

As can be seen, there is a wide variety of uses that could occur, in addition to a number of uses that would be allowed with a Conditional Use Permit from the Board of Zoning Appeals. A small animal veterinary clinic is not listed as either "permitted" or "conditional", therefore based on the amendments made to the Junction City Zoning Regulations, the use is being considered as a Special Use Permit.

With respect to the "land use" analysis of this request, staff believes this is a very viable and compatible use for the neighborhood. Staff honestly believes this use might be considered "more acceptable" than some of the uses allowed by right, and most definitely more so than those listed as allowed with a Conditional Use. As such, staff believes this request to be appropriate for this location, subject to the comments discussed elsewhere in this staff report.

The Junction City Zoning Regulations provide guidance as to what should be addressed in a request for a Special Use Permit and what should be found in order to make an appropriate decision. Those guidelines, found in Section 445.160, and the staff comments concerning those, are as follows.

1. When deemed necessary, a topographic survey indicating the legal description, property boundary, existing contours, existing utilities and easements, and natural and manmade features of the property.

If this project moves forward, the building permit requirements will mandate this information be provided. An inspection of the property indicates the lot is fairly flat, so there should not be any major issues with drainage.

- 2. A Site Plan, drawn to the same scale as the topographic survey, indicating:
 - a. existing contours (shown as dashed lines);

See 1. above.

b. proposed contours (shown as solid lines);

See 1. above.

c. location and orientation of all existing and proposed buildings;

The submitted site plan clearly shows the location of the proposed building.

d. areas to be used for parking, including the number and arrangement of stalls;

The submitted site plan shows the location of the initial parking, as well as where future parking, if needed, will be provided. The actual number of stalls to be established at the time of the initial construction will be noted and required as part of the issuance of the building permit.

e. areas to be developed for screening, including the location of plant materials, and screening structures and features;

In accordance with the requirements of the Junction City Zoning Regulations, the underlying "CN" Commercial Neighborhood District Regulations require that uses in the "CN" District are required to:

- F. *Use Limitations*.
 - 4. A sight-obscuring screening of not less than six (6) feet in height shall be provided along all property lines that abut a residential district.

The Junction City Zoning Regulations define screening as: "Decorative fencing or evergreen vegetation maintained for the purpose of concealing from view the area behind such structures or evergreen vegetation. When fencing is used for screening, it shall be not less than six (6) nor more than eight (8) feet in height."

Couple with the provisions of authority to approve a Site Plan listed below, the MPC and/or the Governing Body can specify the type of screening to be installed.

Staff believes screening is definitely required on the very northwest portion of the property where it "abuts" the residential property at 1613 Rivendell Street. It can be said that the property also "abuts" the residential district of the properties on the west side of Rivendell Street, which would also require screening along the west side of this property.

Dr. McCreath has indicated a desire to "landscape" the property such that the appearance will be acceptable to the neighbors. It is not anticipated that "privacy fencing" would be the best method of providing screening and staff is open to other suggestions and recommendations from the MPC or applicant. More detailed plans should be provided to address this issue before final approval by the Governing Body, presuming this request gets that far.

f. pedestrian and vehicular circulation, and their relationship to existing streets, alleys and public right-of-way;

In the opinion of staff, there are no problems with vehicular circulation on this site, especially in relationship to the existing streets. The only issue staff would recommend is to place a definitive prohibition of access to Rivendell Street, and possibly restricting any access to Strauss Boulevard to a "right-in/right-out" only.

This property has sidewalks along Spring Valley Road and Strauss Boulevard. There is not a sidewalk along Rivendell Street along the frontage of this lot; but one exists on the west side of Rivendell Street. This is shown on the aerial photo attached to this staff report. Staff does not believe additional sidewalks are necessary under the requirements of the City Regulations or City Code.

g. points of ingress and egress;

As noted above, the proposed access will be the construction of a new drive entrance from Spring Valley Road. No points of ingress or egress are proposed on the Site Plan. Staff believes the comments in subsection (f) above are applicable on this issue.

h. location of all existing and proposed utilities (sanitary sewage systems, water systems, storm drainage systems, gas lines, telephone lines and electrical power lines);

All the utility services are available to this site and will be addressed with respect to the "service lines" during the building permit review process.

i. drainage controls (retention or detention ponds);

Staff does not believe there will be any drainage issues as noted previously. All matters concerning drainage will be addressed during the building permit review process.

j. location, size and characteristics of identification and business signs;

The applicant has proposed no signage. Staff would presume some signage would be desired if this was approved, so if it moves forward there should be some indication from the applicant of what signage is proposed.

k. lighting layout, appurtenances, and intensity of illumination;

No indication has been given as to whether the owner desires additional outside lighting. The provisions of the Junction City Zoning Regulations regarding outside lighting and the requirement to shield such lighting from creating glare on adjoining residential properties will be applicable and made a part of the building permit review process.

l. proposed finished floor elevations of all buildings and structures.

There is no specified finish floor identified on the Site Plan. That will be shown and included in the building permit review process. Any adjustments necessary will be addressed as a condition requiring modifications before a building permit would be issued.

3. A statement of intent shall accompany the Site Plan to explain the measures used to achieve compatibility of the proposed development with surrounding properties through the planning of the site and the location and design of structures.

The applicant has submitted a statement of intent. The staff comments herein address the issues the applicant raises.

Further, the Junction City Zoning Regulations, Section 455.160, provide the following:

In the process of reviewing any Site Plan, the Planning Commission and/or Governing Body may provide approval of the Site Plan conditioned upon certain limitations or restrictions deemed necessary to protect the public interest and surrounding properties, including, if any, the following:

- 1. Limitations on the type, illumination and appearance of any signs or advertising structures.
- 2. *Direction and location of outdoor lighting.*
- 3. Arrangement and location of off-street parking and off-street loading spaces.
- 4. The type of paving, landscaping, fencing, screening and other such features.
- 5. Limitations on structural alterations to existing buildings.
- 6. Prohibition of use or construction of any structure to be used for a single-family dwelling, including a manufactured home.
- 7. Plans for control or elimination of smoke, dust, gas, noise or vibration caused by the proposed use.

5

- 8. Waiver of any standards, requirements or depiction of information required by this Article when requested by the applicant and shown to be unnecessary as applied to the specific case in question.
- 9. Such other conditions and/or limitations that are deemed necessary.

The staff recommendation is provided below.

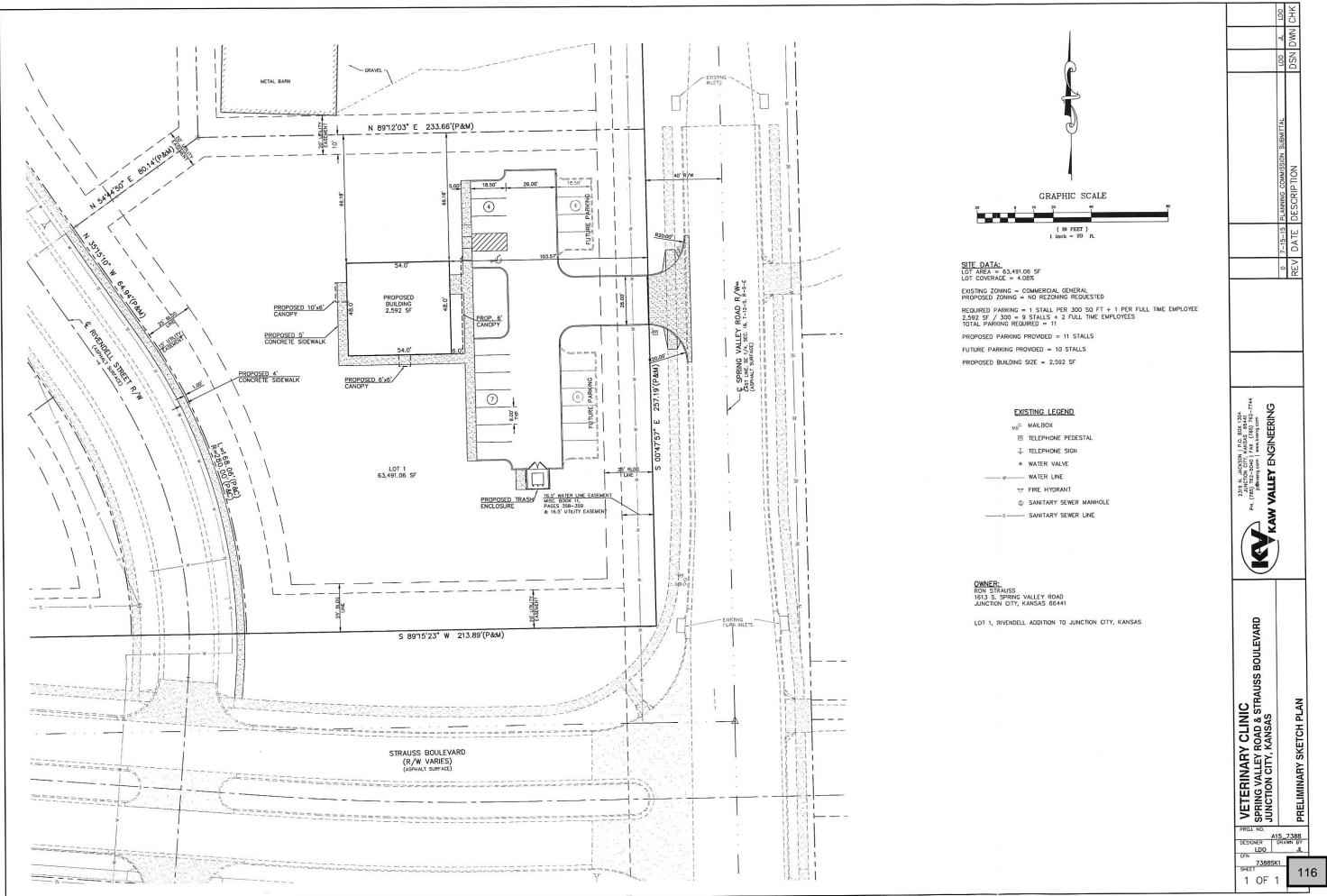
Staff Recommendation:

Staff believes this request meets the spirit and intent of the Zoning Regulations of Junction City; is compatible use and would not be harmful to the neighborhood. As previously stated herein, staff believes this use may even be more compatible than some of the uses allowed by "right" or as a "conditional use". The recommendations listed above are the only stipulations staff believes should be included in a recommendation of approval.

Suggested Motion:

I move that Case No. SUP-08-02-15, concerning the request of Kaw Valley Engineering, agent; for Ronald D. Strauss, owner, and Dr. Theresa McCreath, contract buyer, requesting a Special Use Permit to allow construction of a veterinary clinic on property zoned "CN" Neighborhood Commercial District located at the northwest corner of Strauss Boulevard and South Spring Valley Road, Junction City, Kansas, be recommended for approval, subject to modifications to the Site Plan showing no access to Rivendell Street from this lot; an access to Strauss Boulevard from this lot being a "right-in/right-out" only drive; a specific landscaping and screening plan be presented to the Governing Body address the proposed landscaping and, more particularly the type of screening to be installed to meet the requirements of the Zoning Regulations, based on the reasoning stated in the staff report and as presented at this public hearing.

6



THIS DRAWING SHALL NOT BE UTILIZED BY ANY PERSON, FIRM, OR CORPORATION IN WHOLE OR IN PART WITHOUT THE SPECIFIC PERMISSION OF KAW VALLEY ENGINEERING, INC.

JUNCTION CITY/MILFORD/GEARY COUNTY METROPOLITAN PLANNING COMMISSION BOARD OF ZONING APPEALS

MINUTES

August 13, 2015

Members	Members	Staff
(Present)	(Absent)	(Present)

Maureen Gustafson, Chair Ken Mortensen, Vice-Chair Brandon Dibben Gayle Edmiston Mike Watson Cindy Carlyon Vacant Dave Yearout Shari Lenhart

1. CALL TO ORDER & ROLL CALL

Chair Gustafson called the meeting to order at 7:00 p.m. and declared a quorum with all members present.

2. APPROVAL OF MINUTES – Consideration of the July 9, 2015 minutes.

Mr. Yearout stated the July minutes were not available for consideration. He indicated the July and August minutes will be available for consideration at the September meeting.

3. SPECIAL BUSINESS

<u>Item No. 1</u> – Swearing in of new member by Junction City Clerk Tyler Ficken.

The Oath of Office was administered by Tyler Ficken, Junction City Clerk, to Ms. Cindy Carlyon. Chair Gustafson and Commissioners welcomed Ms. Carlyon as a new member.

4. OLD BUSINESS

<u>Item No. 1</u> – Case No. CP-03-01-15 ~ Continued Public Hearing on the proposed update to the Junction City/Geary County Comprehensive Plan.

Chair Gustafson opened the public hearing and asked for the staff report.

Mr. Yearout stated, since the last meeting, staff completed the work and submitted all the revisions and notes to RDG. A copy of the revised version of the Comprehensive Plan from RDG was provided in the packets. Mr. Yearout stated staff has not had the time to go through the RDG revision to check on the changes; and, obviously, the MPC has not had adequate time to review the revised document. Staff is recommending to continue the public hearing to the September, 2015, meeting.

Commissioner Edmiston moved to continue the public hearing on the adoption of the updated Comprehensive Plan to the September 2015 meeting. Commissioner Mortensen seconded the motion and it carried unanimously.

5. NEW BUSINESS

<u>Item No. 1</u> - Case No. TA-08-01-15 ~ Public Hearing on proposed text amendment to the County Zoning Regulations.

Chair Gustafson opened the public hearing on the proposed text amendment and asked for the staff report.

Mr. Yearout stated this is the application of the Junction City/Milford/Geary County Metropolitan Planning Commission to amend Sections 15-109, 15-110 and 17-104 of the Geary County Zoning Regulations relating to accessory buildings and fences in the "R-1" Single-Family and "SR" Suburban Residential Zoning Districts. The proposal adds language to permit administrative approval of accessory buildings, or combination of buildings, in excess of 900 square feet on 3 acres or more in the "SR" District; and requires a fence permit on all properties in the "R-1" Districts, and on property containing less than 3 acres in the "SR" Districts. Mr. Yearout indicated the staff report has detailed background information on why these amendments are being presented.

Mr. Yearout stated since the adoption of the new County Zoning Regulations in January of 2012, staff has dealt with numerous requests for accessory structures in excess of 900 square feet in the "SR" district. Mr. Yearout stated this district applies to all the rural portion of Geary County for properties with less than 40 acres in size; with the exception of some property in the Laurel Canyon area which is served by public sewers and zoned "R-1". Mr. Yearout stated staff is of the opinion accessory buildings be permitted without the necessity of requiring a Special Exception in the "SR" district for properties larger than three (3) acres. Mr. Yearout explained the permit requests are reviewed for compliance with zoning and sanitation regulations to assure the proposed structure will not compromise the wastewater system or violate zoning setback requirements. Mr. Yearout pointed out the Board is aware of the numerous cases they have reviewed on properties in excess of 3 acres which did not present any special problems and could have been administratively approved. Mr. Yearout stated the proposed new language is fully set out in the staff report for the affected sections.

Mr. Yearout stated, as an aside, the staff report also addresses public comments made at the July meeting. Many of those rural landowners were present at this meeting regarding the proposed amendment; however, the issues they raised at the July meeting dealt more with claims Geary County was not applying its Zoning.

Regulations on "agricultural" property and buildings properly. Mr. Yearout noted the staff report detailed the history of the statutes; the history of the preparation of the existing Geary County Zoning Regulations; and how many of the "extracts" from Kansas Statutes presented in the handout at the July meeting were completely out of context or, in the case of the "3 acre" language, were applicable only to City Zoning Regulations in its extraterritorial jurisdiction. Mr. Yearout stated the staff report should provide a full understanding of how and why Geary County had prepared its Zoning Regulations in the manner it did and that the claims presented by the rural landowners were not correct or substantiated by the facts.

In reference to the proposed amendment for accessory buildings, Mr. Yearout noted the staff report provides a clear explanation of the intent. Mr. Yearout stated staff believes this will allow administrative approval of many more permits for accessory buildings in the rural areas and minimize the number of Special Exception applications needed.

In reference to the proposed fencing amendment, Mr. Yearout stated the staff report also provides the full background on this matter. Mr. Yearout stated the proposed language for both issues is fully set out in the staff report.

Mr. Yearout concluded by stating staff is recommending this text amendment dealing with accessory structures in the "SR" district and requirement for fencing permits be recommended for approval by the Board of County Commissioners.

In response to questions from the Commissioners, Mr. Yearout confirmed this amendment applies to the Geary County Zoning Regulations only. Mr. Yearout noted, in response to a question from Commissioner Watson regarding "front yard" that the definition of a "front yard" in the Zoning Regulations will cover the unique situation of Commissioner Watson's home, which faces the former Highway 77 and has its "frontage" on the current "Old Highway 77". Mr. Yearout noted there currently is no fee set to secure a fence permit, but that will be addressed with the Board of County Commissioners. Mr. Yearout also noted there is no limit on the size of an accessory building on properties over three acres.

There being no further questions or comments, Chair Gustafson opened the hearing for public comment.

Steve Higgens, 6755 Old Hwy 13, Alta Vista, stated hearing just the hard facts was very good. There is a need in the county to have buildings this large. Mr. Higgens stated the proposed amendment as presented sounds great to him and he hopes the Commission will recommend approval and it goes forward.

Joe Kormanik, 411 Main Street, Alta Vista, stated he believes the proposed amendment is a good rule and will help to promote business. The three acre and under is acceptable to regulate accessory buildings for the reasons stated. Mr. Kormanik stated he supports the proposed amendment.

Maggie Hanney-Mizes, 2322 N. Crider Road, Junction City, stated she has lived here for 35 years and she is desirous of finally having an accessory building

constructed on her property. Mr. Yearout stated this property owner has a case before the Board of Zoning Appeals at this meeting for a Special Exception for a proposed accessory garage. Mr. Yearout stated if this text amendment had already been in place her application would not have been necessary.

There being no further appearances, Chair Gustafson closed the public hearing. Hearing no further questions, comments or discussion, Chair Gustafson called for a motion.

Commissioner Mortensen moved that Case No. TA-08-01-15, the request initiated by the Metropolitan Planning Commission to amend the Geary County Zoning Regulations dealing with the size restrictions of accessory buildings larger than 900 square feet on "SR" Suburban Residential lots larger than 3 acres; and dealing with fencing permits on all "R-1" Single-Family Residential or "SR" Suburban Residential lots three (3) acres or smaller in size; be recommended for approval by the Board of County Commissioners as recommended by staff and based on the information heard at this public hearing. Commissioner Watson seconded the motion and it passed unanimously.

<u>Item No. 2</u> – Case No. Z-08-01-15 ~ Public Hearing for a zone change from "CSR" to "RM".

Chair Gustafson opened the public hearing and asked for the staff report.

Mr. Yearout stated this is the application of Mary Stockford, owner, requesting to rezone the property at 410 North Franklin from "CSR" Service Commercial Restricted District to "RM" Multiple Family Residential District. Mrs. Stockford's family conducted a small engine repair business for years at this location, which was a home converted to a business use. Mr. Yearout stated the staff report contains additional history on this property which indicates the property has been zoned for a commercial use for decades and a couple of variances were approved in 1982 and 1992 for business expansions.

Mr. Yearout stated the applicant indicated she has attempted to sell the business for the past several years with no success. Ms. Stockford has closed the business and indicated the property will go to her daughter for a residence; therefore, her desire to rezone the property to a residential district. Mr. Yearout explained to the Commission the house could be occupied without the need to rezone; however, if the owner were seek a residential loan or the property was destroyed by 50% or more, the house could not be replaced for a residential use if it remained in a commercial district.

Mr. Yearout stated the city zoning regulations provide guidance as to what should be considered in order to make an appropriate decision on the rezoning request. Mr. Yearout stated the staff report lists the guidelines and staff comments. The request for "RM" zoning is consistent with the zoning classification of the residential property to the west and others in the immediate area. Mr. Yearout explained there are "shipping containers" on the property which must be removed if the rezoning to residential is approved because those are not permitted on a residentially zoned property.

Mr. Yearout concluded by stating staff is recommending approval of the zone change, subject to the condition the applicant will be required to remove the storage containers currently on the property.

Commissioner Carlyon inquired if the applicant was aware it would be necessary to have the containers removed. Mr. Yearout indicated he did not know.

Chair Gustafson asked if there would be environmental issues due to the past business dealing with oil. Mr. Yearout stated that would not be a zoning issue, but because of the past use it would be an issue for most any lending institution evaluation.

There being no further questions of staff, Chair Gustafson opened the hearing for public comment.

Mary Stockford, 410 N. Franklin, stated the shipping containers are rentals and the company will be coming to remove them soon. Ms. Stockford stated 15 years ago, she had about 3,000 customers per year in the small engine repair business. However, the number rapidly declined because lawnmowers are now made as "throwa-ways" since it is cheaper to buy one from Walmart. Ms. Stockford stated all oil was contained in 55 gallon barrels which were sold to another business.

There being no other appearances, comments or questions, Chair Gustafson closed the public hearing.

During discussion, it was the consensus of the Commission the requested "RM" district was consistent with the surrounding residential zoning, the business has been closed, and if the intent is to use the property strictly for residential use it is appropriate to rezone. The Commission agreed the shipping containers must be removed and the applicant has indicated removal has been scheduled.

There being no further comments, Chair Gustafson called for a motion.

Commissioner Mortensen moved that Case No. Z-08-01-15, concerning the request of Mary Stockford, owner, to rezone from "CSR" Service Commercial Restricted District to "RM" Multiple Family Residential District for property located at 410 North Franklin Street, Junction City, Geary County, Kansas, be recommended for approval to the "RM" Multiple Family Residential District by the City Commission based on the reasoning stated in the staff report and as presented at this public hearing; subject to the "shipping containers" being removed from the property. Commissioner Dibben seconded the motion and it passed unanimously.

<u>Item No. 3</u> – Case No. SUP-08-01-15 ~ Public Hearing for a Special Use Permit to allow food service business.

Chair Gustafson opened the public hearing and asked for the staff report.

Mr. Yearout stated this is the application of Martine Chery, owner, requesting a Special Use Permit to allow a food service business for catering and carry-out to be operated

from property zoned "RD" Duplex Residential District at 1704 Lydia Lane, Junction City. Mr. Yearout reported this is one half of a duplex and explained, while this location meets the Zoning Regulation requirements for a duplex, there is little room to accommodate other uses.

Mr. Yearout stated Ms. Chery initially inquired if she could operate as a home occupation. Mr. Yearout explained that restaurants are specifically prohibited as a home occupation. Staff visited with Ms. Chery at length explaining her proposal would best be suited in a commercial location and reiterated her proposal, as submitted, was not a permitted use in the residential area. However, staff did explain she had the right to pursue the option of a Special Use Permit. Ms. Chery chose to pursue a Special Use Permit with the realization there are numerous obstacles to overcome before her home could possibly meet food and building code requirements.

Mr. Yearout explained the staff report details the various concerns if this type of business is approved, even if certain conditions could be established in the Special Use Permit. Mr. Yearout briefly reviewed the issues dealing with lot size, need for possible handicap accessibility, location of the home entrance, traffic flow, off-street parking availability, state/city food/building code requirements; and setting a bad precedent by permitting a "restaurant" in a residential neighborhood. Mr. Yearout stated the staff report also sets out the City Zoning Regulations which provide guidance on what to address when considering a request for a Special Use Permit; along with staff comments.

Mr. Yearout concluded by stating there is a preponderance of evidence which staff believes warrants a recommendation of denial, along with the concern this could establish a precedent for other "home cooks" to open a "restaurant" in other residential areas. Mr. Yearout reiterated staff does not believe this is an appropriate area for the type of business Ms. Chery proposes.

Discussion between the Commission and staff ensued on issues of odor (no standards); disposal of grease into the city sewer (grease traps are required for existing restaurant businesses); requirement for handicap and off-street parking, owns ½ the duplex so entitled to only ½ the driveway; significant modifications necessary which requires meeting code requirements for numerous departments; signage concerns; and suitability of the location.

There being no further comments or questions of staff, Chair Gustafson opened the hearing for public comment.

Martine Chery, 1704 Lydia Lane, stated she took the time to go over Mr. Yearout's report and feels there are comments which are not applicable. Ms. Chery stated she is not going to have a "restaurant", per se, but delivery and pick-up. There is no reason to worry about requiring handicap accessibility because this will not be an eatin restaurant. Ms. Chery stated, if someone is disabled, she would go hand their order to them and they can go on their way. Ms. Chery stated her half of the duplex has a two-car garage and there would be room for two cars to park in the driveway which will not be a problem. She stated this would be like two friends coming to visit. Ms. Chery explained her plan is the orders will be called in and she will tell the customer.

what time to pick up; therefore, there should be no concern about traffic flow issues. Ms. Chery stated she has not determined what signage, if any, to be installed.

Ms. Chery stated she does not want to start her business the wrong way because it would be illegal.

In response to questions from the Commission, Ms. Chery stated she plans to offer a daily menu for pick-up. If a customer wishes something different, she will need 3-4 hours notice and the customer can either pick up or she would deliver. Ms. Chery stated she has visited with EVCO who will be supplying her products. If there is a problem with having delivery of her products to her home, she will meet the delivery truck at another location on Ash where they deliver to another customer. Ms. Chery reiterated she wants to be legal. She stated she has cooked for people and they suggested she make her Haitian food into a business, but she has not run a restaurant before. She stated she is willing to do whatever the Commission requires.

There being no further questions of Ms. Chery or appearances, Chair Gustafson closed the public hearing.

Commissioner Edmiston stated her definition of "catering" would be for a single event, not to several different individuals on the same day.

Chair Gustafson stated her main concern would be this setting a precedent to allow a form of a "restaurant" in a residential area. Chair Gustafson informed Ms. Chery she believed Ms. Chery has a real talent for this, she should consider contacting the EDC who could assist her in locating a suitable building to do food preparation and establish a restaurant.

Commissioner Mortensen stated he was not certain the area is correct. However, if the operation was kept to catering only, it might be okay.

Commissioner Watson stated he agreed with the comments this is not the correct location for what Ms. Chery is proposing. Commissioner Watson stated people may want to come and see where the food is made. Traffic flow could definitely be an issue in this area, especially during rush hours. Commissioner Watson stated he believed Ms. Chery when she stated the customer would be given a scheduled pick-up time; however, customers may not always follow the rules.

Ms. Chery continued to insist she would do whatever the Commission required to be able to prepare and sell her "home cooked" meals from her home on Lydia Lane. The Commission and staff explained the proposal of a "restaurant" is specifically prohibited in the City's Zoning Regulations as a home occupation. Ms. Chery insisted she would be more of a "catering" business and customer orders would be delivered; or, picked up by the customer. The Commission and staff repeatedly assured Ms. Chery they believed what she said; however, her proposal is an everyday preparation of food for customers; which is no different than any restaurant or "fast-food" establishment which have dine in, pick up, or drive through customers. The Commission stated it believed her sincerity; however, based on the information in the staff report and other issues.

previously discussed, her home is not an appropriate location for her proposed food business.

In response to a question, Mr. Yearout stated there may be a need to revamp the City zoning regulations to more clearly define allowable home occupations and to specifically set out as to what exactly constitutes a home "catering" business; or if that type of use should even be added to the allowed home occupations. There are individuals who cook/bake from their homes for special occasions (e.g., weddings, funerals, etc.) but not on a daily basis. Presently, "restaurants" are prohibited as a home occupation but the issue of "catering" is not defined.

Following an extended discussion (reviewing issues previously noted) between the Commission, Staff and Ms. Chery, Chair Gustafson called for a motion.

Commissioner Watson moved that Case No. SUP-08-01-15, concerning the request of Martine Chery, owner, requesting a Special Use Permit to establish a food service business (catering and carry-out service) on property zoned "RD" Residential duplex District at 1704 Lydia Lane, Junction City, Kansas, be recommended for denial based on the reasons stated in the staff report and as heard at this public hearing. Commissioner Carlyon seconded the motion and it passed by the following vote; Ayes: Commissioners Gustafson, Carlyon, Dibben, Edmiston and Watson; Nays: Commissioner Mortensen.

<u>Item No. 4</u> – Case No. SUP-08-02-15 ~ Public Hearing for a Special Use Permit to allow construction of a veterinary clinic.

Chair Gustafson opened the public hearing and asked for the staff report.

Mr. Yearout stated this is the application of Kaw Valley Engineering, agent, for Ronald Strauss, owner, and Dr. Theresa McCreath, contract buyer, requesting a Special Use Permit to allow construction of a veterinary clinic on property zoned "CN" Neighborhood Commercial District located on the northwest corner at the intersection of Strauss Boulevard and South Spring Valley Road, Junction City, Kansas.

Mr. Yearout stated the applicant is proposing to construct a small animal veterinary clinic. The site plan indicates a building just under 3,000 square feet with access from Spring Valley Road and parking on the east side of the building. Mr. Yearout stated staff believes the site plan also needs to incorporate a screening plan (which is required by the Zoning Regulations when abutting residential property); restricting access off Rivendell Street; any access from Strauss Boulevard being right-in/right-out only; location of "outdoor" runs for kenneling; identification of signage; and any possible future buildings. Mr. Yearout stated this would allow the applicant to expand in the future, if necessary, without returning to the MPC to modify the site plan.

Mr. Yearout stated an issue to consider is the fact this property is zoned "CN" which allows a range of commercial uses by right and several with a conditional use. The staff report lists the wide variety of uses that might not be as compatible as the proposed small veterinary clinic. Mr. Yearout briefly reviewed the remaining points in the staff report which covers the items to be taken into consideration in reaching a

decision along with staff comments. Mr. Yearout pointed out the Zoning Regulations also outline limitations or restricts the MPC and/or Governing Body may place on a Special Use Permit when reviewing the site plan.

Mr. Yearout concluded by stating staff is recommending approval, subject to the site plan being modified to include the items listed in the staff report, based on the information in the staff report along with the fact this request meets the spirit and intent of the Zoning Regulations, would be a compatible use, and not as potentially harmful to the neighborhood as some of the uses allowed by "right" or "conditional use".

In response to questions from the Commission, Mr. Yearout confirmed the property to the north is also zoned "CN" Neighborhood Commercial; and the existing sidewalk along Rivendell Street will be extended to Strauss Boulevard as shown on the site plan.

There being no further questions of staff or comments, Chair Gustafson opened the hearing for public comment.

Leon Osbourn, Kaw Valley Engineering, 2319 N. Jackson, stated he believed this business will be an excellent fit for the neighborhood. Mr. Osbourn stated Dr. McCreath is present to answer any questions. Mr. Osbourn asked if any future development was to take place and not on the original site plan, it would be necessary to submit an amendment and go through this procedure again. Mr. Yearout confirmed that was correct.

Mr. Osbourn stated the building will be setback 80 feet or more from Rivendell Street. There is a platted utility easement on all sides of the property and utilities are available. Mr. Osbourn pointed out this would be a new building.

Mr. Osbourn indicated the building contractor is also present if anyone has questions relating to the building process.

<u>Dr. Theresa McCreath, 729 S. 2400 Road, White City,</u> handed out a picture of the proposed vet clinic building and the interior layout. Dr. McCreath stated the outside "runs" will be off of the northwest corner of the building and pens will be included; however, the animals will not be housed outside. Dr. McCreath explained her business is not to include boarding or "daycare" for animals.

Dr. McCreath stated that, as far as signage goes for the present, the proposal is to have a sign on the front of the building. Future plans would possibly be to place one on the corner of Spring Valley Road and Strauss Boulevard.

Dr. McCreath stated she visited with the surrounding neighbors and the main concern was barking dogs. Dr. McCreath explained the animals will be kept inside and no one should hear much outside because of the way the building is going to be designed.

William R. Thornberg, 1815 South Spring Valley Road, stated he was very supportive of this request. He felt this was much more compatible to the neighborhood than past proposals for the property, such as the mini-storage complex.

125

There being no further questions of staff or comments, Chair Gustafson closed the public hearing and opened the floor for discussion or a motion.

Commissioner Mortensen moved that Case No. SUP-08-02-15, concerning the request of Kaw Valley Engineering, agent, for Ronald D. Strauss, owner; and Dr. Theresa McCreath, contract buyer, requesting a Special Use Permit to allow construction of a small animal veterinary clinic on property zoned "CN" Neighborhood Commercial District located at the northwest corner of Strauss Boulevard and South Spring Valley Road, Junction City, Kansas, be recommended for approval, subject to modifications to the Site Plan showing no access to Rivendell Street from this lot; an access to Strauss Boulevard from this lot being a "right-in/right-out" only drive; a specific landscape screening plan; show future animal exercise runs; and any other possible future modifications for expanding the business; to the Governing Body, based on the reasoning stated in the staff report and as presented at this public hearing. Commissioner Watson seconded the motion and it carried unanimously.

<u>Item No. 5</u> – Case No. FP-08-01-15 ~ Public hearing on request for Final Plat approval for Lakeview Terrace Subdivision, Geary County.

Chair Gustafson opened the public hearing and called for the staff report.

Mr. Yearout stated this is the application of Kaw Valley Engineering, agent, and Richard Rothfuss, President R & R Developers, Inc., contract buyer, on behalf of Glenda Brewer Shaneyfelt, et al, owners, seeking approval of the Final Plat for Lakeview Terrace Subdivision, located on the southwest corner at the intersection of US-77 Highway and Lakeview Terrace.

Mr. Yearout stated a plat review meeting was held on Monday, August 10, to review this plat. Mr. Yearout stated there was minimal attendance at the meeting; and acknowledged staff initially indicated to Mr. Osbourn and the developer a general agreement with the plat design. However, upon further review and discussion with County Public Works Director, Dennis Cox, problems were noted on the way the plat is designed and being presented. Mr. Cox was unable to attend the plat review meeting.

Mr. Yearout stated this is the first subdivision to be presented to the Commission since the new Zoning and Subdivision Regulations were adopted in January of 2012. Mr. Yearout stated the staff report sets out the relevant sections and staff's comments in detail. Mr. Yearout explained this plat fails to meet three major requirements of the Subdivision Regulations and adopted County policies, which are:

- 1. Lakeview Terrace Road to be paved by the developer.
- 2. All lots created are to be served by a paved interior road.
- 3. The proposed size of the lots exceeds 3 acres, the maximum allowed.

Mr. Yearout stated the applicant has indicated the reason for not meeting these three major requirements is because of the costs, which staff believes is not a substantive reason to grant a rule exception. At this point, Mr. Yearout explained the County Commission is permitted to grant "rule exceptions" under Section 6-101 of the Geary

County Subdivision Regulations. Mr. Yearout reiterated that <u>only</u> the County Commission and *not* the MPC may grant rule exceptions.

Mr. Yearout concluded by stating staff recommends the plat be denied as presented for the reason it does not comply with the Design Standards of the Geary County Subdivision Regulations and no factual documentation has been presented to warrant a recommendation of the County Commission granting any rule exceptions.

Commissioner Carlyon stated she is aware of areas in the county that have been "carved up" into lots fronting public streets and problems exist. Commissioner Carlyon stated she personally likes the idea of the internal road requirement to limit access for several lots to just one ingress/egress from the county road.

There being no further comments or questions of staff, Chair Gustafson opened the hearing for public comment.

<u>Leon Osbourn, 2319 N. Jackson,</u> Kaw Valley Engineering, stated he was representing the applicant. Mr. Osbourn indicated he did not necessarily disagree with what Mr. Yearout had reported; however, he believes the regulations need to be changed.

Mr. Osbourn stated the cost estimate is \$17-18,000 to pave one mile of road. Mr. Osbourn pointed out this land is "land-locked" on all four sides; US-77 Highway on the east and Corp of Engineer land on the remaining three sides, with the exception of a 6-acre tract privately owned on the north side of Lakeview Terrace next to US-77 Highway.

Mr. Osbourn stated, as far as getting rural water to all the lots, the cost could be as high as \$30-40,000. Mr. Osbourn stated the area has been "witched" indicating there is plenty of water for each lot to have its own well.

Mr. Osbourn stated he has not had the opportunity to visit with the County Commission and was hoping that Mr. Cox would be present at this meeting to discuss the possibility of getting the rule exceptions. The property owner wants to stay with the design as presented and not increase it to the 5-6 lots which would be necessary in order to get the acreage down, per lot, to 3 acres or less.

Mr. Osbourn commented he blamed himself for not being more involved when the Subdivision Regulations were being modified; however, because of the unique issues for this property, consideration should be given to possible modifications to the Subdivision Regulations because there are other areas with similar limitations.

Mr. Osbourn felt the circumstances of topography, size and being "land-locked" by the Corps of Engineers property warrants the rule exception and requested the plat be approved subject to the County Commission granting the exceptions.

Discussion ensued between the Commission, staff and Mr. Osbourn on the past history of Lakeview Terrace road. After the construction of Milford Lake this road dead-ended at the lake; was barricaded at one point; was re-opened by the Corp to

allow access for fishing; however, it was also a favorite "mudding" road; and that an agreement between the Corp and the County on supplying rock and upkeep was now in place.

There being no further appearances, questions or comments, Chair Gustafson closed the public hearing.

Extensive discussion ensued between the Commission and staff on the following:

- 1. There is adequate area on each proposed lot for an onsite wastewater system.
- 2. Lots larger than 3 acres allows large farm animals; a Conditional Use Permit is required if a property owner wishes to keep large farm animals on less than 3 acres.
- 3. The "rule exception" is built into the Subdivision Regulations; however the County should be very careful about "opening the gate" for other possible subdivision development requests wishing to waive the standards.
- 4. A rock road is dusty; which is why the County established the standard to pave the roads; especially since the homes will be very expensive.
- 5. Additional right-of-way would be needed for Lakeview Terrace if the plat is approved.
- 6. The dead-end road appears to be a unique situation; however staff noted other similar situations exist in parts of the County. Commissioner Mortensen indicated he would be willing to approve the plat if Lakeview Terrace would be paved.
- 7. This may be one of those situations where rule exceptions might be appropriate; provided, there is documented justification to prevent "setting a precedent".

Following discussion, Commissioner Mortensen moved that Case No. FP-08-01-15, the application of Kaw Valley Engineering, agent, and Richard Rothfuss, President, R & R Developers, Inc., contract buyer, on behalf of Glenda Brewer Shanneyfelt, et al, owners, seeking approval of the Final Plat for Lakeview Terrace Subdivision, located at the southwest corner of the intersection of Lakeview Terrace and US-77 Highway, Geary County, Kansas, be approved subject to Lakeview Terrace Road being paved and the County Commission granting Rule Exceptions for the required interior road and maximum lot size exceeding 3 acres for the reasons stated and discussed at this public hearing. Commissioner Watson seconded the motion and it carried with the following vote: Ayes: Commissioners Mortensen, Carlyon, Edmiston and Watson; Nays: Chair Gustafson and Commissioner Dibben.

<u>Item No. 6</u> – Case No. SUP-08-03-15 ~ Public Hearing for a Special Use Permit to allow establishment of a church.

Chair Gustafson opened the public hearing and called for the staff report.

Mr. Yearout stated this is the application of the Junction City Baptist Church, agent, for Bruce Johnson, owner, requesting a Special Use Permit to allow the establishment of a church on property zoned "RS" Suburban Residential and a small portion zoned

"RD" Duplex Residential District on Ecord Drive, Junction City. This property is being considered for a final plat later in the meeting.

Mr. Yearout stated the Church has been trying to find a location to build a new church for some time. Mr. Yearout stated this is rather a large property with just over 6 acres and the site plan, as submitted, basically just shows the proposed location of the church and does not address the balance of the "undeveloped" property. Mr. Yearout stated the potential uses on this "undeveloped" property are of special concern and are addressed in detail in the staff report.

Mr. Yearout briefly reviewed the staff report and noted the following information and concerns staff believes important to consider in reaching a decision for a recommendation on the requested Special Use Permit:

- Amendments completed in 2012 to the Junction City Zoning Regulations permit churches to be established only in residential districts; after securing a Special Use Permit.
- 2. With respect to "land use" analysis, staff believes this may not be an appropriate location for a church due to the proximity of this property to Armour-Eckrich. The possibility exists that related church "activities" (e.g., daycare, activities center, etc.) could be established; and/or Armour-Eckrich may expand their industrial use which may create the potential for complaints from the church based on odor/noise from the industrial use.
- 3. The proposed update to the Comprehensive Plan identifies the land owned by Armour-Eckrich for "business park/industrial" type land uses.
- 4. Challenges associated with placement of certain "civic" land uses such as churches and schools and difficulties involved to "mitigate" potential incompatibilities between land uses.

Mr. Yearout explained the staff comments are set out in detail in the staff report. Mr. Yearout concluded by stating staff believes inadequate information has been provided in order to make specific recommendations concerning how to "mitigate" potential conflicts with the placement of a church at this location; therefore, staff recommends this case be continued to the September, 2015, meeting.

General discussion between Commissioners and staff followed. In response to a question as to whether churches must pay special assessments, staff acknowledged they were not "exempt" and would have to pay the special assessments against the one lot acquired in the Deer Creek Addition which provides access to Ecord Drive. It was also stated that Armour-Eckrich acquired the property immediately to the south of this land as a "buffer" for their operations.

There being no further questions of staff or comments, Chair Gustafson opened the hearing for public comment.

Adam Langston, 2929 Union Road, Chapman, stated he was the pastor of the church. Pastor Langston stated this is a new process for them and the main issue is to try and understand what they need to do to get approval to build the church.

Pastor Langston explained this was a preliminary site plan for the meeting. The topography was taken into consideration and the location of the proposed church was purposely chosen because it would be visible on top of the hill. Pastor Langston briefly explained the proposed layout of the church, traffic flow and parking locations.

Commissioner Mortensen asked if this was a new church. Pastor Langston stated the church was established four years ago and the congregation has been meeting at the Convention Center. The church has outgrown that location and the congregation strongly believes it needs its own church building.

Pastor Langston stated other areas were discussed, but they have been for commercial uses or had other issues that made them not viable. He acknowledged it's difficult to find a large enough lot zoned residential to place a new church and this location provides adequate space and is, in their opinion, an appropriate location.

Pastor Langston stated any additional information the Commission needed added to the site plan could be done. Commissioner Mortensen suggested they also needed to address any possible signage.

<u>Savenia Robbins, 2009 Arrowhead Court,</u> stated she is in the military and her home is her "peace area" and she continues to want her solitude. Ms. Robbins stated when she purchased her home she believed the area would be more residential. Ms. Robbins stated she did not oppose the church.

Steven Henderson, Pastor of the Baptist Church in Manhattan affiliated with this church, stated it is very difficult for churches to get started and they should be encouraged where we can. Pastor Henderson stated the church in Manhattan had the same difficulty finding a location that fit their needs and that approvals by the Manhattan Board of Zoning Appeals were required before their church was fully established. He expressed the desire for this request to be granted approval as he felt the church would be a beneficial neighbor to the community and all concerned.

Pastor Langston stated signage would be addressed by the church and that they would comply with the requirements of the City.

There being no further appearances, Chair Gustafson closed the public hearing and opened the meeting for further discussion or a motion.

Extensive discussion ensued among the Commission on issues of whether this was the correct location for a church; whether further buffering between the church and Armour-Eckrich might be necessary; the need for additional information on site plan in relation to the topography; what stipulations might be attached to the Special Use Permit; concerns with expanded church activities on the balance of the property; and clarification on issues raised by staff and the public comments. There were also comments made concerning the support of the church as an acceptable use on this property.

Commissioner Edmiston moved that Case No. SUP-08-03-15, concerning the request of the Junction City Baptist Church, agent, for Bruce Johnson, owner, requesting a

Special Use Permit to allow the establishment of a church on property zoned "RS" Suburban Residential and a small portion zoned "RD" Duplex Residential District on Ecord Drive, Junction City, Kansas, be recommended for approval to the Governing Body, based on the reasoning as presented at this public hearing. Commissioner Mortensen seconded the motion and it failed by the following vote: Ayes: Commissioners Edmiston and Mortensen. Nays: Commissioners Gustafson, Carlyon, Dibben and Watson.

Commissioner Dibben moved that Case No. SUP-08-03-15, concerning the request of the Junction City Baptist Church, agent, for Bruce Johnson, owner, requesting a Special Use Permit to allow the establishment of a church on property zoned "RS" Suburban Residential and a small portion zoned "RD" Duplex Residential District on Ecord Drive, Junction City, Kansas, be continued to the September, 2015, MPC meeting and the applicant prepare a more detailed site plan and address the issues raised in the staff report, based on the reasons stated in the staff report and as heard at this public hearing. Commissioner Mortensen seconded the motion and it carried unanimously.

<u>Item No. 7</u> – Case No. FP-08-02-15 ~ Request for Final Plat approval for the Junction City Baptist Church Addition, Junction City.

Chair Gustafson stated this was the application of Kaw Valley Engineering, agent, and Junction City Baptist Church, contract buyer, on behalf of Bruce Johnson, owner, seeking approval of the Final Plat for the Junction City Baptist Church Addition, located on Ecord Drive, Junction City, and asked for the staff report.

Mr. Yearout stated the staff report outlined the reason for the plat and indicated the City zoning regulations require property be platted prior to issuance of a building permit. Mr. Yearout stated the staff report outlines the relative issues dealing with the proposed plat. The proposed plat complies with the City's subdivision regulations and the only requirement staff has is an easement be shown on the face of the plat for an existing sanitary sewer line crossing the western portion of the property. Mr. Yearout stated, as is customary, a Developer's Agreement must be finalized prior to the Governing Body approving the plat.

<u>Leon Osbourn, Kaw Valley Engineering, 2319 N. Jackson,</u> stated he was present on behalf of the applicant to answer any questions the Commission may have. Mr. Osbourn indicated the addition of the sanitary sewer easement would be done on the final plat.

There being no appearances, questions or comments, Chair Gustafson called for a motion.

Commissioner Watson moved that Case No. FP-08-02-15, the application of Kaw Valley Engineering, agent, and Junction City Baptist Church, contract buyer, on behalf of Bruce V. Johnson, owner, seeking approval of the Final Plat for the Junction City Baptist Church Addition to Junction City, Kansas, be approved and the Chairman and Secretary be authorized to sign the plat; and the plat be forwarded to the City Commission of Junction City for final approval and acceptance, subject to showing

the easement for the existing sanitary sewer line on the western portion of the proposed lot (either referencing the existing easement of record or creating the necessary easement on this plat) and the finalization of the Development Agreement covering the public infrastructure modifications; and based on the findings outlined in the staff report and as heard at this meeting. Commissioner Edmiston seconded the motion and it passed unanimously.

BOARD OF ZONING APPEALS ~ Recess as Metropolitan Planning Commission and Convene as Board of Zoning Appeals

Chair Gustafson declared the Metropolitan Planning Commission recessed and convened as the Board of Zoning Appeals.

5. OLD BUSINESS ~ None

6. NEW BUSINESS

<u>Item No. 1</u> - Case No. BZASE-08-01-15 ~ Public Hearing on a request for a Special Exception.

Application of Robert Zlotow, owner, requesting a Special Exception from the Geary County Zoning Regulations to allow construction of an accessory structure in excess of the allowable 900 square feet, in the "SR" Suburban Residential District, at 2322 North Crider Road, Junction City, Geary County, Kansas.

Chair Gustafson opened the public hearing and called for the staff report.

Mr. Yearout reported this was the case referred to by Maggie Hanney-Mizes earlier in the meeting. This is a 14.48 acre property. The proposal is for a 40-foot by 40-foot building, or 1,600 square feet in size. Under the existing Zoning Regulations, this is larger than can be approved administratively.

Mr. Yearout noted staff had checked with Lisa Davies, Geary County Sanitarian, and the proposed location would not have any impact to the onsite wastewater treatment system. Mr. Yearout reviewed the staff report, which addresses the requirements of the Zoning Regulations and the requirements of the Board, and stated staff is recommending approval, subject to the limitation this not be used for commercial purposes.

There being no further questions of staff, Chair Gustafson opened the public hearing for comments from the public.

Maggie Hanney-Mizes, 2322 North Crider Road, stated she was agreeable to all conditions and desired the application be approved.

There being no further comments from the public, Chair Gustafson closed the public hearing and opened the meeting for comments or a motion from the Board.

Commissioner Carlyon moved that Case No. BZASE-08-01-15, the request of Robert Zlotow, owner, requesting a Special Exception from the Geary County Zoning Regulations to allow an accessory structure in excess of the allowable 900 square feet, in the "SR" Suburban Residential District, at 2322 Crider Road, Junction City, Geary County, Kansas, be approved, allowing a structure 40 feet by 40 feet, or not to exceed 1,600 square feet in size, at the location shown on the information submitted by the applicant, subject to the condition this building is not to be used for any commercial purpose unless appropriate zoning approval is first obtained. Commissioner Dibben seconded the motion and it passed unanimously.

<u>Item No. 2</u> - Case No. BZASE-08-01-15 ~ Public Hearing on a request for a Special Exception.

Application of Brain Boland, agent, for Doug Wolnik, owner, requesting a Special Exception from the Geary County Zoning Regulations to allow construction of an accessory structure in excess of the allowable 900 square feet in the "SR" Suburban Residential District, at 12519 Ridge Road, Junction City, Geary County, Kansas.

Chair Gustafson opened the public hearing and called for the staff report.

Mr. Yearout reported this is a 35.58 acre property. The proposal is for a 30-foot by 40-foot building, or 1,200 square feet in size. Under the existing Zoning Regulations, this is larger than can be approved administratively.

Mr. Yearout noted staff had checked with Lisa Davies, Geary County Sanitarian, and the proposed location would not have any impact to the onsite wastewater treatment system. Mr. Yearout reviewed the staff report, which addresses the requirements of the Zoning Regulations and the requirements of the Board, and stated staff is recommending approval, subject to the limitation this not be used for commercial purposes.

There being no further questions of staff, Chair Gustafson opened the public hearing for comments from the public.

Derek Bunnell, 3836 Hunters Circle, Manhattan, Kansas, stated he was speaking on behalf of the applicant and was agreeable to all conditions and desired the application be approved.

There being no further comments from the public, Chair Gustafson closed the public hearing and opened the meeting for comments or a motion from the Board.

Commissioner Watson moved that Case No. BZASE-08-02-15, the request of Brian Boland, agent, on behalf of Doug Wolnik, owner, requesting a special exception from the Geary County Zoning Regulations to allow an accessory structure in excess of the allowable 900 square feet, in the "SR" Suburban Residential District, at 12519 Ridge Road, Junction City, Geary County, Kansas, be approved, allowing a structure 30 feet by 40 feet, or not to exceed 1,200 square feet in size, at the location shown with the application materials submitted by the applicant, subject to the condition this building is

not to be used for any commercial purpose unless appropriate zoning approval is first obtained. Commissioner Carlyon seconded the motion and it passed unanimously.

METROPOLITAN PLANNING COMMISSION – Adjourn as Board of Zoning Appeals and reconvene as Metropolitan Planning Commission

Chair Gustafson declared the Board of Zoning Appeals adjourned and reconvened as the Metropolitan Planning Commission

7. **GENERAL DISCUSSION** – None.

8. ADJOURNMENT

Commissioner Mortensen moved to adjourn. Commissioner Watson seconded the motion and it carried unanimously. Chair Gustafson declared the meeting adjourned at 9:41 p.m.

Maureen Gustafson, Chair	
ATTEST:	
David L. Yearout, Secretary	

PASSED and APPROVED this 10th day of September 2015.

Backup material for agenda item:

e. Consideration of Case No. SUP-08-01-15, the request of Martine Chery for a Special Use Permit to allow establishment of a food service/catering and carry-out business (restaurant) from her home at 1704 Lydia Lane, Junction City, Kansas.

City of Junction City

City Commission

Agenda Memo

September 15, 2015

From: David L. Yearout, AICP, CFM, Director of Planning and Zoning

To: City Commission & Allen Dinkel, City Manager

Subject: Case No. SUP-08-01-15 – Request for a Special Use Permit to authorize the

establishment of a food service business (restaurant) from the residence at

1704 Lydia Lane.

Issue: Consideration of the request Martine Chery, owner, requesting a Special Use Permit to establish a food service business (catering and carry-out service) on property zoned "RD" Residential Duplex District at 1704 Lydia Lane, Junction City, Kansas.

Explanation of Issue:

Ms. Chery seeks to establish the food service business, involving catering services, as well as a carry-out service, from the basement of her home at 1704 Lydia Lane. Ms. Chery specializes in "Hatian" food and believes it is best to establish her business from her home as a start.

Staff recommended denial as outlined within the staff report; primarily because a "restaurant" is specifically listed as not permitted as a "home occupation"; because of the intensive impact such an operation would have on a residential neighborhood, especially if very successful; and because it would be an inappropriate precedent to establish for the entire community.

The Metropolitan Planning Commission held a public hearing on August13, 2015, to consider this request. By a vote of 5 to 1, the MPC has recommended the Special Use Permit be denied based on the reasoning outlined in the staff report and as heard at the public hearing.

Alternatives: In accordance with K.S.A. 12-757, the City Commission has the following alternatives for a Special Use Permit application on first appearance:

- 1. To accept the recommendation of the MPC and approve the Ordinance, thereby denying the Special Use Permit.
- 2. Modify the recommendation of the Planning Commission by a 2/3 majority vote and approve the Ordinance as so modified, thereby granting the Special Use Permit subject to said changes.
- 3. Return the recommendation to the Planning Commission for further consideration, specifying the items, concerns or issues with said recommendation.
- 4. Disapprove the recommendation of the Planning Commission by a 2/3 majority vote and approve the Special Use Permit.

Staff Recommendation: Accept the recommendation of the MPC to deny the Special Use Permit to authorize the establishment of a food service business (catering and carry-out service) on property zoned "RD" Residential Duplex District at 1704 Lydia Lane, Junction City, Kansas, for the reasons outlined in the staff report and as noted by the MPC.

Sugg	jested	Motio	n:
------	--------	-------	----

Commissioner	moved	that	the	recommen	dation	of	the
Metropolitan Planning Commission be accepted							
the establishment of a food service business (ca	tering an	d carr	y-out	service) on	proper	ty zo	ned
"RD" Residential Duplex District at 1704 Lydia recommended by the MPC and for the reasons s				ty, Kansas	, be de	enied	d as
•	·						
Commissionerse	econded t	the mo	otion.				

Enclosures:

MPC Minutes of August 13, 2015 Staff Report for Case No. SUP-08-01-15



JUNCTION CITY/MILFORD/GEARY COUNTY METROPOLITAN PLANNING COMMISSION BOARD OF ZONING APPEALS



STAFF REPORT

August 13, 2015

TO: Metropolitan Planning Commission / Board of Zoning Appeals

FM: David L. Yearout, AICP, CFM, Director of Planning and Zoning

SUBJECT: SUP-08-01-15 – Consideration of a request for a Special Use Permit to

allow a food service business (catering and carry-out) on property zoned

"RD" Duplex Residential at 1704 Lydia Lane, Junction City, Kansas.

This is the request of Martine Chery, owner, requesting a Special Use Permit to establish a food service business (catering and carry-out service) on property zoned "RD" Residential Duplex District at 1704 Lydia Lane, Junction City, Kansas. Ms. Chery owns ½ of the duplex at this location, which is situated on the portion of the lot that is approximately 41 feet wide by 120 feet deep, resulting in a total lot area of approximately 4,920 square feet. While this complies with the minimum requirements of the Junction City Zoning Regulations (3,500 square feet per unit for a duplex), there is little room to accommodate other uses on the lot. This is further compounded by the fact the "entrance" to this unit is on the west side of the structure and west of the driveway and garage.

This is a neighborhood consisting primarily of duplexes immediately north of the Hunter's Ridge Apartment complex. Its access to the larger community is via North Park Drive, which runs through the Hunter's Ridge Apartment Complex but functions as a "collector" street and carries a large amount of traffic. This is further compounded by the fact the required parking for the apartments is actually "on the street", in the sense the parking stalls are perpendicular to the travelway and are within the overall street "right-of-way". This was approved as part of the building permit approvals for the apartment complex and included within the Development Agreement connected to the plat approval for the project. The road network then connects to Rucker Road on the west and Thompson Drive on the east.

Ms. Chery seeks to establish the food service business, involving catering services, as well as a carry-out service, from the basement of her home at 1704 Lydia Lane, Junction City, Kansas. The applicant is calling this in her application a "restaurant", which is probably not the same thing; however the negative impact of introducing this type of use in this neighborhood, in the opinion of staff, is huge and a very bad precedent to establish. The amount of remodeling that will be required by both the State of Kansas and Junction City building codes to make this residential structure qualify to be used as a commercial food service operation will significantly alter the building, especially if the "basement" is accessible only from the interior of the building, which it appears to be.

Further, the additional "off-street" parking and loading requirements will most likely require creating spaces that go beyond the lot area available. It is unclear whether the applicant believes parking "on-street" is sufficient and acceptable for the business, but the regulations are clear that "on-street" parking is not to be considered as an option in meeting the "off-street parking" requirements.

The Junction City Zoning Regulations provide guidance as to what should be addressed in a request for a Special Use Permit and what should be found in order to make an appropriate decision. Those guidelines, found in Section 445.160, and the staff comments concerning those, are as follows.

1. When deemed necessary, a topographic survey indicating the legal description, property boundary, existing contours, existing utilities and easements, and natural and manmade features of the property.

If this project moves forward, the building permit requirements will mandate this information be provided.

- 2. A Site Plan, drawn to the same scale as the topographic survey, indicating:
 - a. existing contours (shown as dashed lines);

See 1. above.

b. proposed contours (shown as solid lines);

See 1. above.

c. location and orientation of all existing and proposed buildings;

See 1. above.

d. areas to be used for parking, including the number and arrangement of stalls;

Additional off-street parking will most likely be required, but we are not able to determine the full parking requirements until we see what plans would be done for the conversion of a portion of this home into the food service operation. It appears the additional use requested will create parking problems as noted above.

This is the only property owned by the applicant at this location, so providing additional parking does not appear to be possible. Lack of parking is a serious problem for this use at this location.

e. areas to be developed for screening, including the location of plant materials, and screening structures and features;

Not applicable.

f. pedestrian and vehicular circulation, and their relationship to existing streets, alleys and public right-of-way;

As noted above, parking is a major problem and there does not appear to be any manner in which the parking problems can be mitigated and comply with the spirit and intent of the Junction City Zoning Regulations and good planning principles. With respect to pedestrian circulation, there are sidewalks in the entire neighborhood, so this is not an issue.

g. points of ingress and egress;

Nothing is changing from the driveway entrance from Lydia Lane, at least based on what has been presented to date.

h. location of all existing and proposed utilities (sanitary sewage systems, water systems, storm drainage systems, gas lines, telephone lines and electrical power lines);

Not applicable. No utility services are proposed beyond what already exists.

i. drainage controls (retention or detention ponds);

Until the remodeling plans are available, it is unknown what degree this may be applicable.

j. location, size and characteristics of identification and business signs;

The applicant has proposed no signage. Staff would presume some signage would be desired if this was approved, so if it moves forward there should be some indication from the applicant of what signage is proposed.

k. lighting layout, appurtenances, and intensity of illumination;

No indication has been given as to whether the owner desires additional lighting.

l. proposed finished floor elevations of all buildings and structures.

It is presumed the modifications would not change any finished floor elevations. Obviously, if the intent is to modify the basement for this use, some modifications will be needed; especially if the need to provide handicapped accessibility is mandated due to the use. It is presumed there will be no exterior modifications for this proposal.

3. A statement of intent shall accompany the Site Plan to explain the measures used to achieve compatibility of the proposed development with surrounding properties through the planning of the site and the location and design of structures.

The applicant has submitted a statement of intent. The staff comments herein address the issues the applicant raises.

Further, the Junction City Zoning Regulations, in Section 455.160, provide the following:

In the process of reviewing any Site Plan, the Planning Commission and/or Governing Body may provide approval of the Site Plan conditioned upon certain limitations or restrictions deemed necessary to protect the public interest and surrounding properties, including, if any, the following:

- 1. Limitations on the type, illumination and appearance of any signs or advertising structures.
- 2. Direction and location of outdoor lighting.
- 3. Arrangement and location of off-street parking and off-street loading spaces.
- 4. The type of paving, landscaping, fencing, screening and other such features.
- 5. Limitations on structural alterations to existing buildings.
- 6. Prohibition of use or construction of any structure to be used for a single-family dwelling, including a manufactured home.
- 7. Plans for control or elimination of smoke, dust, gas, noise or vibration caused by the proposed use.
- 8. Waiver of any standards, requirements or depiction of information required by this Article when requested by the applicant and shown to be unnecessary as applied to the specific case in question.
- 9. Such other conditions and/or limitations that are deemed necessary.

The staff recommendation is provided below.

Staff Recommendation:

Staff does not believe this request meets the spirit and intent of the Zoning Regulations of Junction City; is not a compatible use and would be harmful to the residential neighborhood because of the intensity of its operations. As stated earlier, there are serious concerns with the requirements to convert this residence into a food service business.

Staff is fully aware the desire of the applicant is to utilize the existing residence as the "start-up" location for this business. However, staff believes the applicant would be better served to consider an existing commercial building and make the investment in that location for this operation, rather than attempting to do this from her residence.

Suggested Motion:

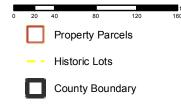
I move that Case No. SUP-08-01-15, concerning the request of Martine Chery, owner, requesting a Special Use Permit to establish a food service business (catering and carry-out service) on property zoned "RD" Residential Duplex District at 1704 Lydia Lane, Junction City, Kansas, be recommended for denial based on the reasoning stated in the staff report and as presented at this public hearing.

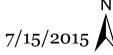
5

Geary County, Kansas

0483403009004000 177.67 0483403009002010 0483403009001010 132.58' 04834030080010Map Layers 04/15/2015 For more maps and information resources, visit us at - http://www.geary.kansasgis.com

1704 Lydia Lane





Geary County makes every effort to produce and publish the most current and accurate information possible. This information is furnished as a public service. The information must be accepted and used by the recipient with the understanding that the data was developed and collected for the purpose of developing property valuations, using the criteria of fair market value, as required by the State of Kansas. The Appraised Value and Tax Information are updated at different times during the year and, therefore, may not always reflect same year values. Geary County assumes no liability whatsoever associated with the use or misuse of such data, and disclaims any representation or warranty regarding the completeness or accuracy of the data.

Note: Acreage and Square Footage data shown are

Note: Acreage and Square Footage data shown are approximate and may not be consistent with records maintained for appraisal purposes.

©2015 Geary County, Kansas Government.

Data sources: Geary County, Kansas Government, Geospatial Commons (DASC), U.S. Census

Backup material for agenda item:

f. Consideration of Case No. Z-08-01-15, the request of Mary Stockford to rezone the property at 410 North Franklin Street, Junction City, Kansas, from 'CSR" Commercial Service Restricted to "RM" Multiple Family Residential.

City of Junction City

City Commission

Agenda Memo

September 15, 2015

From: David L. Yearout, AICP, CFM, Director of Planning and Zoning

To: City Commission & Allen Dinkel, City Manager

Subject: Case No. Z-08-01-15 – Request to rezone certain property in Junction City,

Kansas, located at 410 North Franklin Street (S-3163)

Issue: Consideration of the request of Mary Stockford, owner, to rezone the property at 410 North Franklin Street in Junction City, Kansas, from "CSR" Service Commercial Restricted District to "RM" Multiple Family Residential District.

Explanation of Issue: The applicant is pursuing the rezoning to pass the home to the daughter. A small engine repair business operated from this property for years and, as shown in the staff report, the property had been zoned commercially for years as well.

As noted in the attached staff report, the only issue is the existence of "shipping containers" on the property, which are permitted as commercially zoned land, but which are not allowed in a residentially zoned district. As such, staff recommended the rezoning request be granted as a requested by the applicant, subject removing the "shipping containers".

The Metropolitan Planning Commission held a public hearing on August 13, 2015, to consider this request. By unanimous vote, the MPC has recommended the rezoning from the "CSR" Service Commercial Restricted District to the "RM" Multiple Family Residential District be granted, with the recommendation of removal of the "shipping containers" as noted in the staff report.

Alternatives: In accordance with K.S.A. 12-757, the City Commission has the following alternatives for a rezoning application on first appearance:

- 1. To accept the recommendation of the MPC and approve the Ordinance, thereby granting the rezoning.
- 2. Modify the recommendation of the Metropolitan Planning Commission by a 2/3 majority vote and approve the Ordinance as so modified, thereby granting the rezoning subject to said changes.
- 3. Return the recommendation to the Metropolitan Planning Commission for further consideration, specifying the items, concerns or issues with said recommendation.
- 4. Disapprove the recommendation of the Metropolitan Planning Commission by a 2/3 majority vote and deny the rezoning.

Special Considerations: There were comments received from some neighbors and the only concern with the request was to have the "shipping containers" removed.

Staff Recommendation: Accept the recommendation of the MPC and approve the Ordinance that will grant the rezoning from ""CSR" Service Commercial Restricted District to "RM" Multiple Family Residential District of the property described within the ordinance.

O			ted	8.4	- 4:		_
> 11	~	201	TAM	IVI 4	TI	n	ъ.
υu	МV	463	ıcu	141	Ju	vi	

Commissioner Metropolitan Planning Commission granting the rezoning from "CS Family Residential District of cert Kansas, be approved.	on be accepted and that SR" Service Commercial	Ordin Rest	ance Nricted	District to	B, an or "RM"	dina Mult	ince tiple
Commissioner	seconded t	he mo	tion.				

Enclosures:

MPC Minutes of August 13, 2015 Staff Report Ordinance S-3163

ORDINANCE NO. S-3163

AN ORDINANCE REZONING CERTAIN PROPERTY WITHIN THE CORPORATE LIMITS OF THE CITY OF JUNCTION CITY, KANSAS.

WHEREAS, application has been made Mary Stockford, owner, to rezone the property at 410 North Franklin Street in Junction City, Kansas, from "CSR" Service Commercial Restricted District to "RM" Multiple Family Residential District.; and,

WHEREAS, the Metropolitan Planning Commission of Junction City/Milford and Geary County conducted a public hearing on Case No. Z-08-01-15, following published notification in accordance with K.S.A. 12-741, et. seq., as amended, on August 13, 2015; and,

WHEREAS, the Metropolitan Planning Commission has recommended the City Commission of the City of Junction City, Kansas, approve the rezoning of the property at 410 North Franklin Street, Junction City, Kansas, from "CSR" Service Commercial Restricted District to "RM" Multiple Family Residential District. subject to certain conditions;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF JUNCTION CITY, KANSAS, THAT:

Section 1. The following described property located at 410 North Franklin Street is hereby rezoned from "CSR" Service Commercial Restricted District to "RM" Multiple Family Residential District., subject to the conditions and restrictions listed herein:

Lots 20 of Block 42 of the plat of Junction City, Geary County, Kansas..

- Section 2. The rezoning shall be subject to the following conditions and restrictions:
- A. The shipping containers existing on the property are to be removed upon the rezoning of the property by this ordinance.
- Section 3. This Ordinance shall be in full force and effect from and after its publication once in the Junction City Daily Union.

PASSED AND ADOPTED THIS 15th DAY OF SEPTEMBER, 2015.

ATTEST:	MICK McCALLISTER, MAYOR
TYLER FICKEN CITY CLERK	